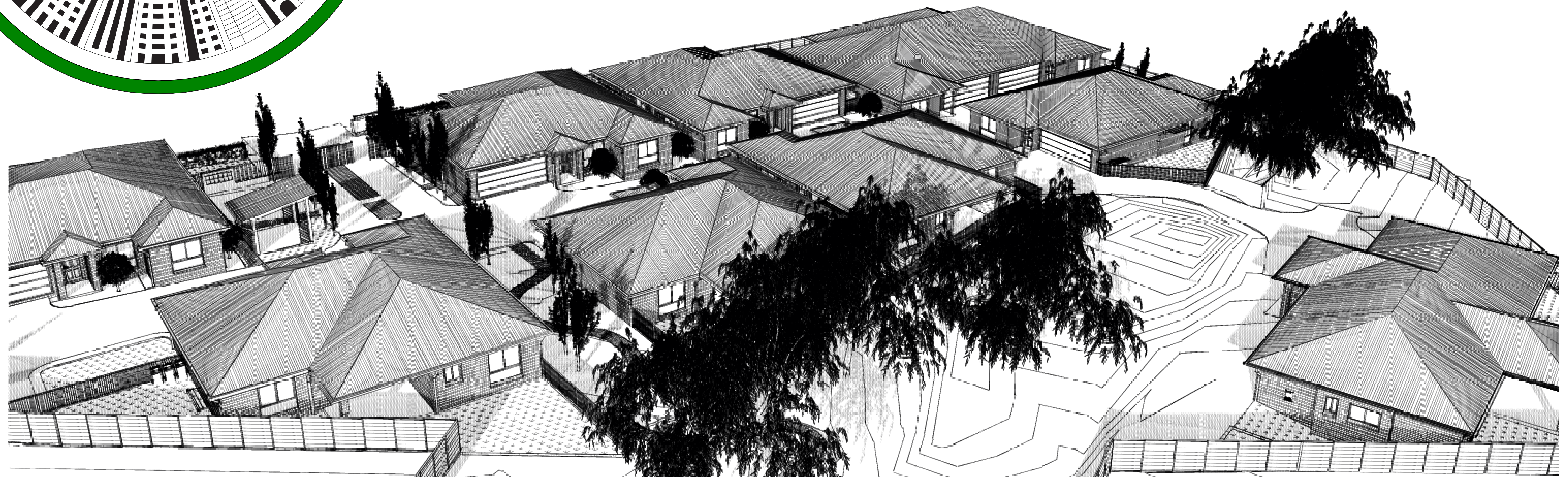
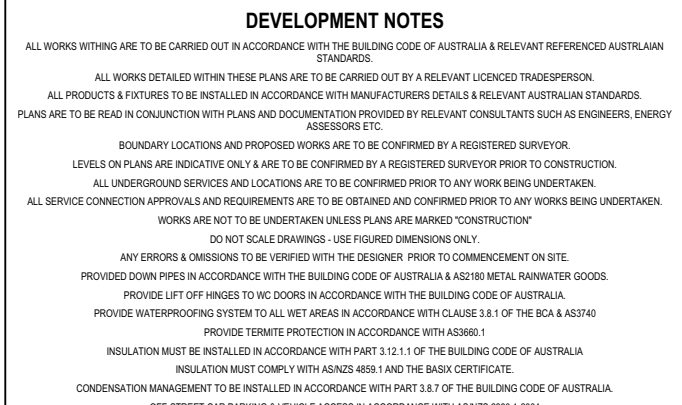




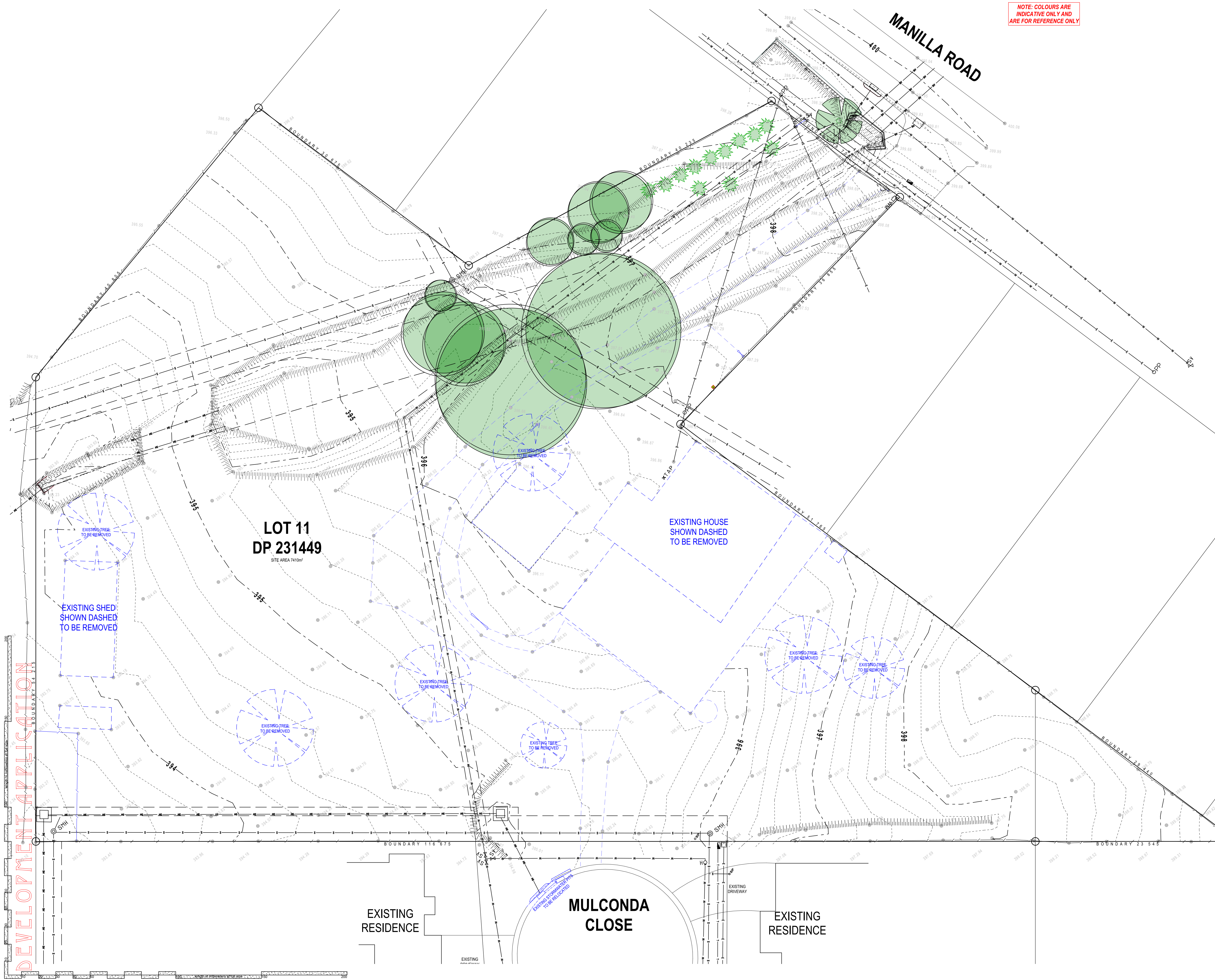
SUNFLOWER GARDENS





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| Plot Date: | 9/12/2024 |
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DEVELOPMENT APPLICATION



NOTE: COLOURS ARE
INDICATIVE ONLY AND
ARE FOR REFERENCE ONLY



| REV | DATE | AMENDMENT | DT | CB |
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| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTING ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAIL WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND CONDITIONS PREPARED BY RELEVANT CONSULTANTS SUCH AS ARCHITECTS, ENGINEERS, LANDSCAPE ARCHITECTS, ETC.

BOUNDARY LOCATIONS AND PROVISIONS FORMS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL MECHANICAL SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY.

ANY WORKS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROCEED DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

PROVIDE LIFT OFF RANGERS TO ALL ROADS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERPINNING PILES TO ALL SET BACKS IN ACCORDANCE WITH CLAUSE 5.1 OF THE BCA & AS/NZS 4576.

PROVIDE TYPICAL PROTECTION IN ACCORDANCE WITH AS/NZS 4576.

INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.5.1.1 OF THE BUILDING CODE OF AUSTRALIA.

INSULATION MUST COMPLY WITH AS/NZS 4576 AND THE BBA CERTIFICATE.

CONSERVATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.5.1.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4576.

| LEGEND | |
|--------|-----------------------|
| WT | 3000 LITRE WATER TANK |
| TP | 200/200 TREE POST |
| BP | 350x350 BRICK PIER |
| SC | SHORT STEEL COLUMN |
| DP | DOWNPIPE |
| RC | REINFORCED CONCRETE |
| WM | WATER METER |
| CL | CLOTHES LINE |
| HU | HOT WATER UNIT |
| MSB | MAIN SWITCH BOARD |
| FSL | FINISHED FLOOR LEVEL |
| FSL | FINISHED SLAB LEVEL |
| EGL | EXISTING GROUND LEVEL |
| FGL | FINISHED GROUND LEVEL |



TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name:

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title:

EXISTING SITE/DEMOLITION PLAN

Status: DEVELOPMENT

Scale: 1:200 @ A1

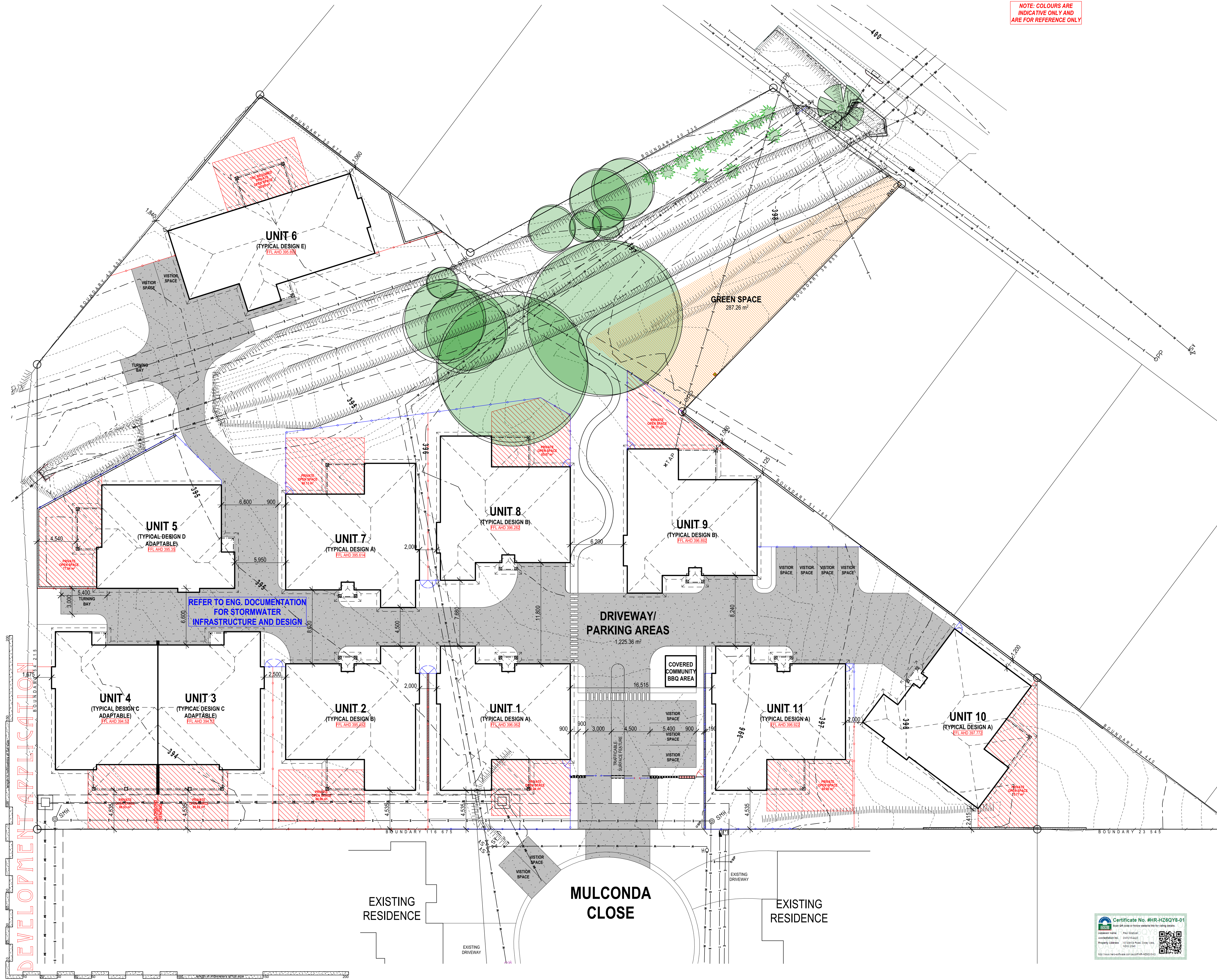
Project No: APPLICATION

Sheet No.: WD3

23142

WD3

Plot Date: 9/12/2024



NOTE: COLOURS ARE
INDICATIVE ONLY AND
ARE FOR REFERENCE ONLY



| REV | DATE | AMENDMENT | DT | CB |
|-----|----------|----------------------------|----|----|
| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTED ARE TO BE COMPLETED BY THE BUILDING OWNER OR A RELEVANT LICENSED AUSTRALIAN TRADESMAN.

ALL WORKS DETAIL WITHIN THESE PLANS ARE TO BE COMPLETED BY A RELEVANT LICENSED TRADESMAN.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND CONDITIONS PREPARED BY THE DESIGNER, INCLUDING BUT NOT LIMITED TO: ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND LANDSCAPE ARCHITECTURE.

BOUNDARY CONDITIONS AND PROVISIONS SHALL BE TO BE COMPLETED BY A RELEVANT LICENSED TRADESMAN.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL MEASUREMENTS SHALL BE TO THE CENTRE OF THE BUILDING OR TO THE FACE OF THE BUILDING AS NOTED.

PROVIDE LIFT OFF RANGERS TO ALL ROOMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE INSULATION TO ALL ROOF AREAS IN ACCORDANCE WITH AS/NZS 4923.1.

PROVIDE THERMAL PROTECTION IN ACCORDANCE WITH AS/NZS 4923.1.

INSULATION MUST COMPLY WITH AS/NZS 4923.1 AND THE BUILDING CODE OF AUSTRALIA.

CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 1.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4923.1.

LEGEND

WT 3000 LITRE WATER TANK
TP 200/200 TRAP
BP 300/300 BRICK PIER
SC 300/300 STEEL COLUMN
DP DOWNPIPE
RC REINFORCED CONCRETE
WM WATER METER
CL CLOTHES LINE
HWU HOT WATER UNIT
MSB MAIN SWITCH BOARD
FSL FINISHED FLOOR LEVEL
FSL FINISHED SLAB LEVEL
EGL EXISTING GROUND LEVEL
FGL FINISHED GROUND LEVEL

TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name
SUNFLOWER GARDENS
15 MANILLA ROAD OXLEYVALE NSW 2340

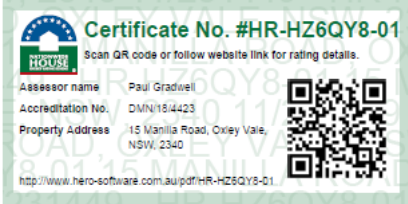
Drawing Title
SITE SETOUT PLAN

Status: DEVELOPMENT Scale: 1:200 @ A1

Project No: APPLICATION Sheet No.: WD4

23142

Plot Date: 9/12/2024



DEVELOPMENT APPLICATION

NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY

UNIT 1 (TYPICAL DESIGN A)
TURF AREA: 72.48 m²

UNIT 2 (TYPICAL DESIGN B)
TURF AREA: 104.29 m²

UNIT 3 (TYPICAL DESIGN C ADAPTABLE)
TURF AREA: 104.29 m²

UNIT 4 (TYPICAL DESIGN C ADAPTABLE)
TURF AREA: 104.29 m²

UNIT 5 (TYPICAL DESIGN D ADAPTABLE)
TURF AREA: 104.29 m²

UNIT 6 (TYPICAL DESIGN E)
TURF AREA: 104.29 m²

UNIT 7 (TYPICAL DESIGN A)
TURF AREA: 104.29 m²

UNIT 8 (TYPICAL DESIGN B)
TURF AREA: 104.29 m²

UNIT 9 (TYPICAL DESIGN B)
TURF AREA: 104.29 m²

UNIT 10 (TYPICAL DESIGN A)
TURF AREA: 104.29 m²

UNIT 11 (TYPICAL DESIGN A)
TURF AREA: 104.29 m²

GREEN SPACE
287.26 m²

DRIVEWAY/ PARKING AREAS
1,225.36 m²

COVERED COMMUNITY BBQ AREA

MULCONDA CLOSE

EXISTING RESIDENCE

EXISTING DRIVEWAY

REFER TO ENG. DOCUMENTATION FOR STORMWATER INFRASTRUCTURE AND DESIGN

Certificate No. #HR-4280Y8-01

Scale: 1:500

Project Name: Mulconda Close Development

Client: Mulconda Close Development Pty Ltd

Prepared by: [Signature]

Checked by: [Signature]

Approved by: [Signature]

Date: 15/01/2023

Version: 1.0

Project Location: [Address]

Project Status: [Status]

Project Description: [Description]

Project Contact: [Contact]

Project Phone: [Phone]

Project Email: [Email]

Project Website: [Website]

Project Social Media: [Social Media]

Project Logo: [Logo]

Project Address: [Address]

Project City: [City]

Project State: [State]

Project Country: [Country]

Project Zip: [Zip]

Project Latitude: [Latitude]

Project Longitude: [Longitude]

Project Elevation: [Elevation]

Project Area: [Area]

Project Volume: [Volume]

Project Weight: [Weight]

Project Density: [Density]

Project Population: [Population]

Project Employment: [Employment]

Project Income: [Income]

Project Education: [Education]

Project Health: [Health]

Project Safety: [Safety]

Project Security: [Security]

Project Environment: [Environment]

Project Culture: [Culture]

Project Religion: [Religion]

Project Language: [Language]

Project Ethnicity: [Ethnicity]

Project Age: [Age]

Project Gender: [Gender]

Project Marital Status: [Marital Status]

Project Employment Status: [Employment Status]

Project Income Level: [Income Level]

Project Education Level: [Education Level]

Project Health Status: [Health Status]

Project Safety Status: [Safety Status]

Project Security Status: [Security Status]

Project Environment Status: [Environment Status]

Project Culture Status: [Culture Status]

Project Religion Status: [Religion Status]

Project Language Status: [Language Status]

Project Ethnicity Status: [Ethnicity Status]

Project Age Status: [Age Status]

Project Gender Status: [Gender Status]

Project Marital Status Status: [Marital Status Status]

Project Employment Status Status: [Employment Status Status]

Project Income Level Status: [Income Level Status]

Project Education Level Status: [Education Level Status]

Project Health Status Status: [Health Status Status]

Project Safety Status Status: [Safety Status Status]

Project Security Status Status: [Security Status Status]

Project Environment Status Status: [Environment Status Status]

Project Culture Status Status: [Culture Status Status]

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Project Marital Status Status Status Status: [Marital Status Status Status Status]

Project Employment Status Status Status Status: [Employment Status Status Status Status]

Project Income Level Status Status Status Status: [Income Level Status Status Status Status]

Project Education Level Status Status Status Status: [Education Level Status Status Status Status]

Project Health Status Status Status Status: [Health Status Status Status Status]

Project Safety Status Status Status Status: [Safety Status Status Status Status]

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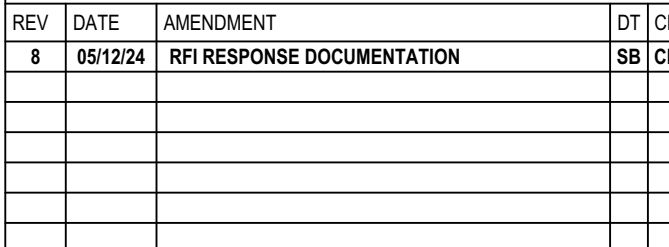
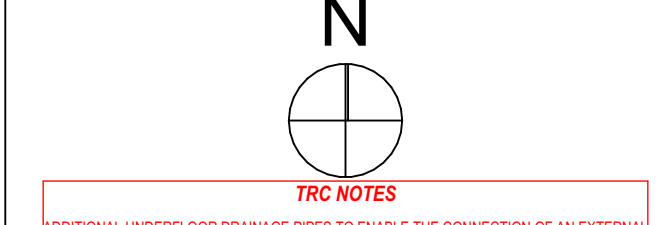
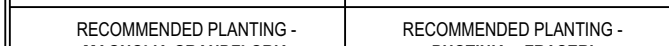
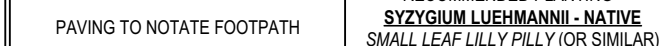
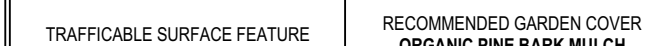
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Project Language Status Status Status Status Status Status Status Status: [Language Status Status Status Status Status Status Status Status]

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Project Age Status Status Status Status Status Status Status Status: [Age Status Status Status Status Status Status Status Status]

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ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

Project Name

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

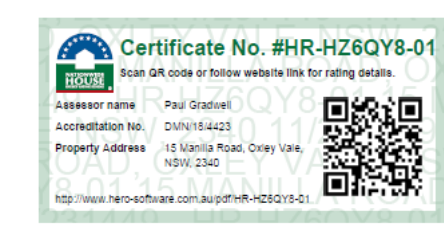
Drawing Title:
LANDSCAPE PLAN

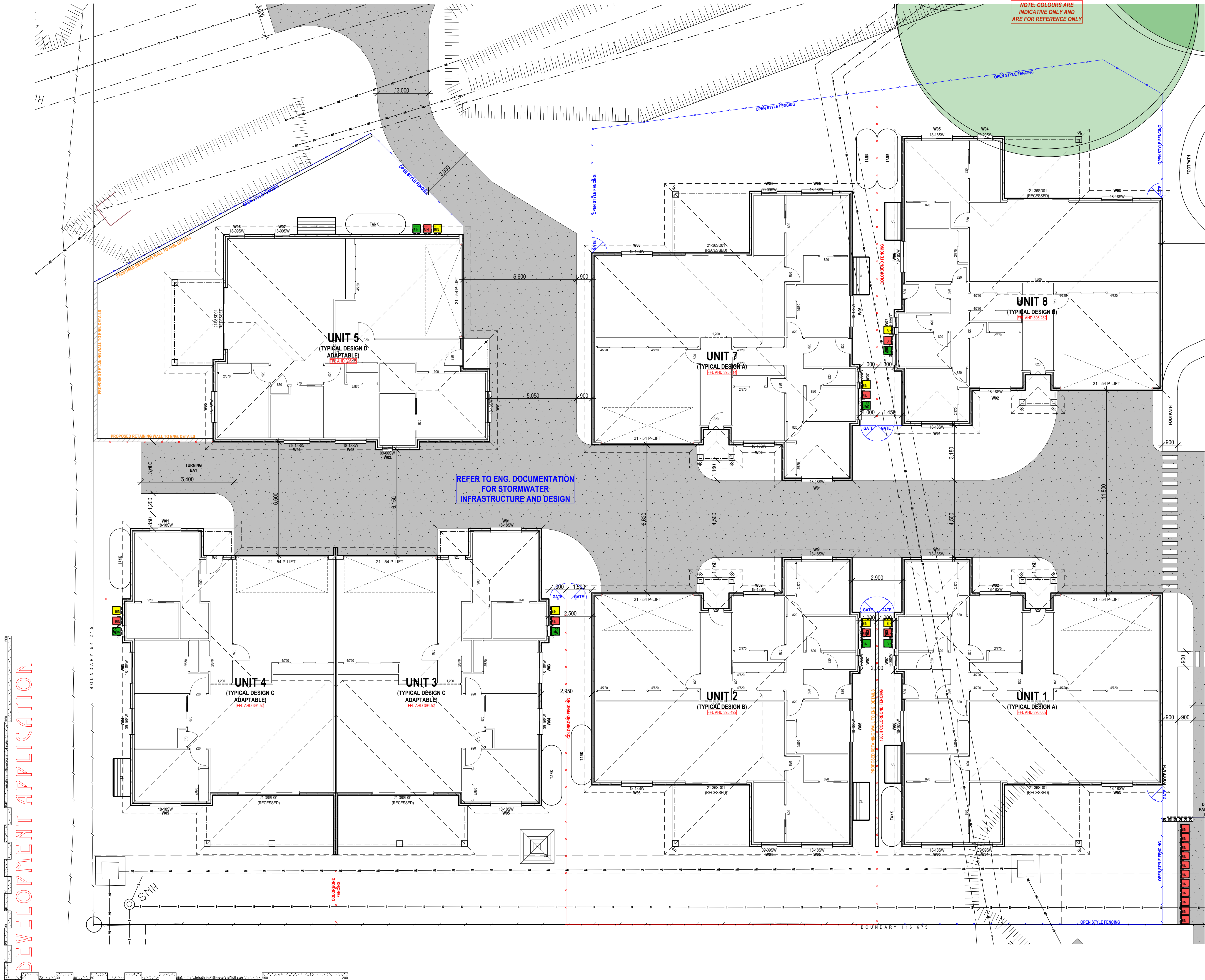
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| Status: | DEVELOPMENT | Scale: 1:200 @ A1 |
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| Project No: APPLICATION | Sheet No : |
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| 23142 | WD5 |
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| Plot Date: | 9/12/2024 |
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| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTING ARE TO BE COMPLETED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILING WITHIN THESE PLANS ARE TO BE COMPLETED BY A REGISTERED ARCHITECT OR ENGINEER.

ALL PRODUCTS & FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND SPECIFICATIONS PROVIDED BY THE CLIENT & CONSULTANTS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, LANDSCAPE, ETC.

BOUNDARY CONDITIONS AND PROVISIONS FOR THE WORKS ARE TO BE COMPLETED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL MECHANICAL, ELECTRICAL & PLUMBING ARE TO BE COMPLETED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY.

ANY WORKS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDE DOWNPIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

PROVIDE LIFT OFF RANGERS TO BE COMPLETED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE INSULATION PROTECTION IN ACCORDANCE WITH AS/NZS 4933.

INSULATION MUST COMPLY WITH AS/NZS 4933 & THE BUILDING CODE OF AUSTRALIA.

INSULATION MUST BE INSTALLED IN ACCORDANCE WITH PART 3.1.1 OF THE BUILDING CODE OF AUSTRALIA.

CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.1.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 2937.

TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title

UNITS 1-8 DETAILED SITES

Status: DEVELOPMENT

Scale: 1:100 @ A1

Project No: 23142

Sheet No.: WD6

Plot Date:

9/12/2024

| REV | DATE | AMENDMENT | DT |
|-----|----------|----------------------------|----|
| 8 | 05/12/24 | RFI RESPONSE DOCUMENTATION | SB |
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DEVELOPMENT NOTES

ALL WORKS WITHOUT BEING IT TO BE CARRIED OUT ACCORDING TO THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE MAY BE CARRIED OUT WITHOUT BEING IT TO BE CARRIED OUT ACCORDING TO THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

ALL WORKS DETAILING WITH THESE WORKS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DATA & A RELEVANT ALTERNATIVE REGISTRATION ALTERNATIVE MAY BE CARRIED OUT WITHOUT BEING IT TO BE CARRIED OUT ACCORDING TO THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

BOUNDARY LOCATION AND PROPOSED CONSTRUCTION OF THE BUILDING TO BE CONSIDERED BY A REGISTERED SURVEYOR.

LEVELS OF PLANS ARE INDICATED THE CLAY TO BE CONFORMED TO A REGISTERED SURVEYOR'S DATA FOR CONSTRUCTION.

THESE PLANS ARE TO BE CARRIED OUT ACCORDING TO THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

ALL SERVICE CONNECTIONS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

ANY WORKS ARE NOT TO BE UNDERTAKEN UNLESS ARE WORKS REGISTERED CONSTRUCTION.

DO NOT EXCEED THE BUILDING CODE OF AUSTRALIA.

ANY WORKS ARE OBLIGED TO BE UNDERTAKEN WITH THE DESIGNER PRIOR TO COMMENCEMENT OF SITE.

CONSTRUCTION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

PROTECT OF OFF HOURS TO BE UNDERTAKEN IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

RELEVANT TRADESPERSONS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

PROTECT TENANT PROTECTION IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

RELEVANT TRADESPERSONS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

CONSTRUCTION MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

RELEVANT TRADESPERSONS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

CONSTRUCTION MATERIALS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.

RELEVANT TRADESPERSONS TO BE INSTALLED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND A RELEVANT REGISTRATION ALTERNATIVE.



TRC NOTES

ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title:
UNIT 9-11 DETAILED SITE

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| Status: | DEVELOPMENT |
|---------|-------------|

Scale: 1:100 @ A1

Project No. **APPLICATION**

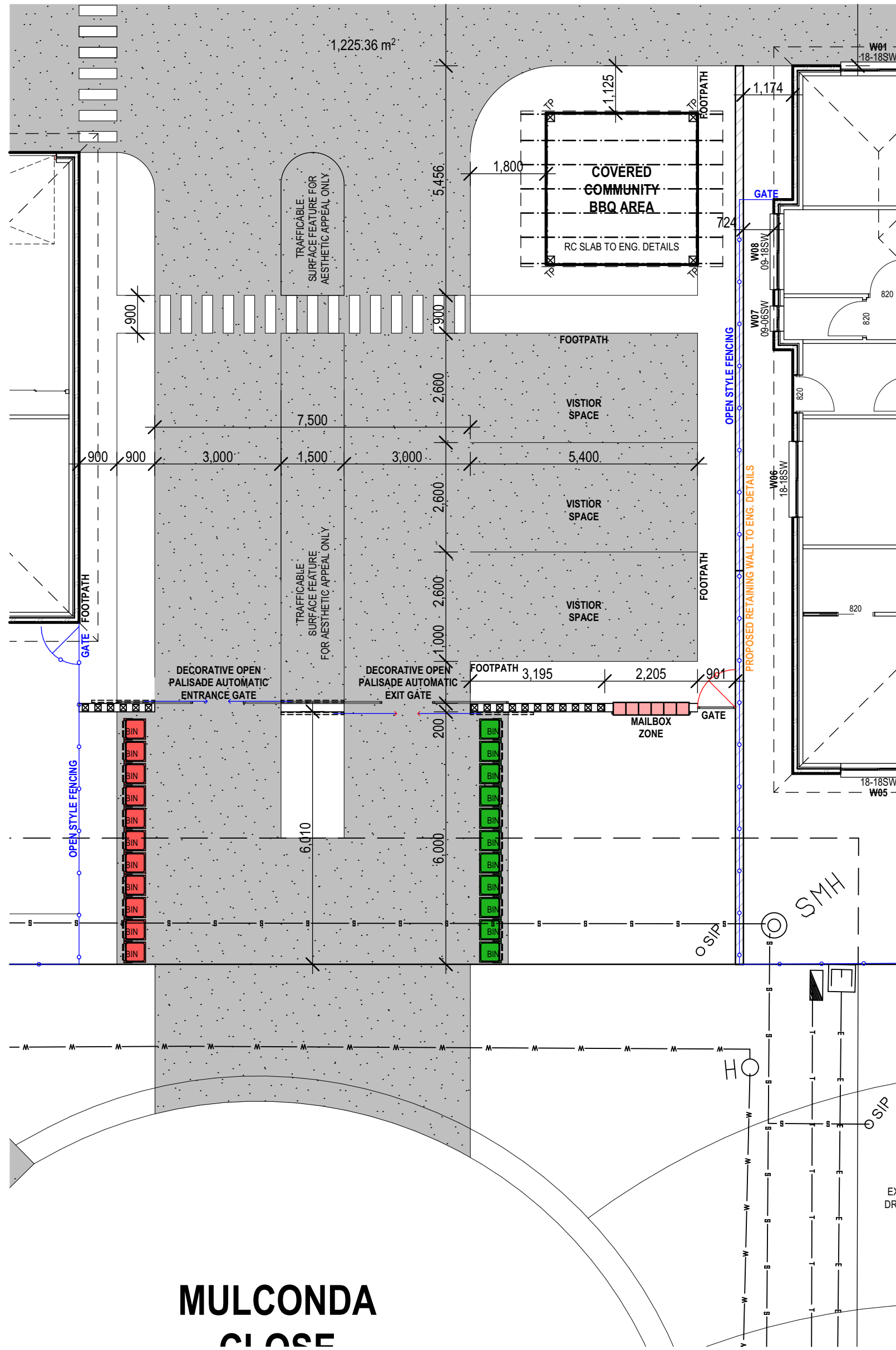
Sheet No.

23142

WD8

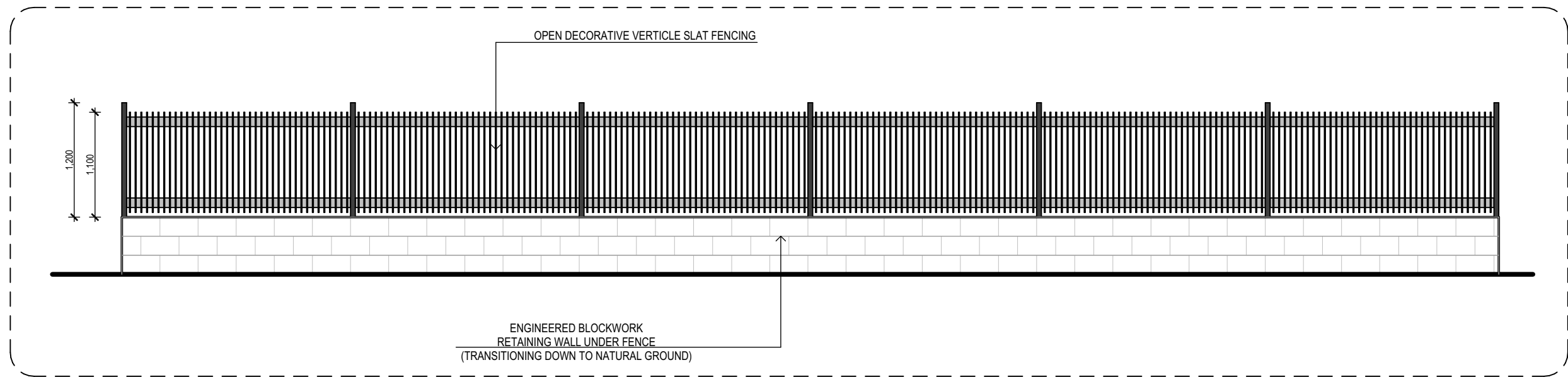
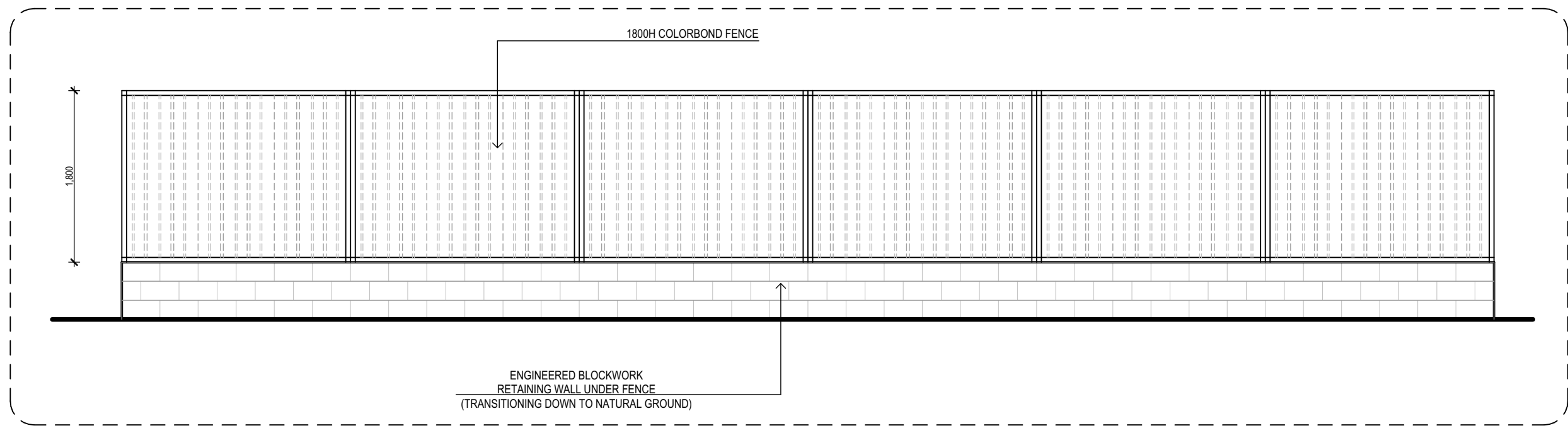
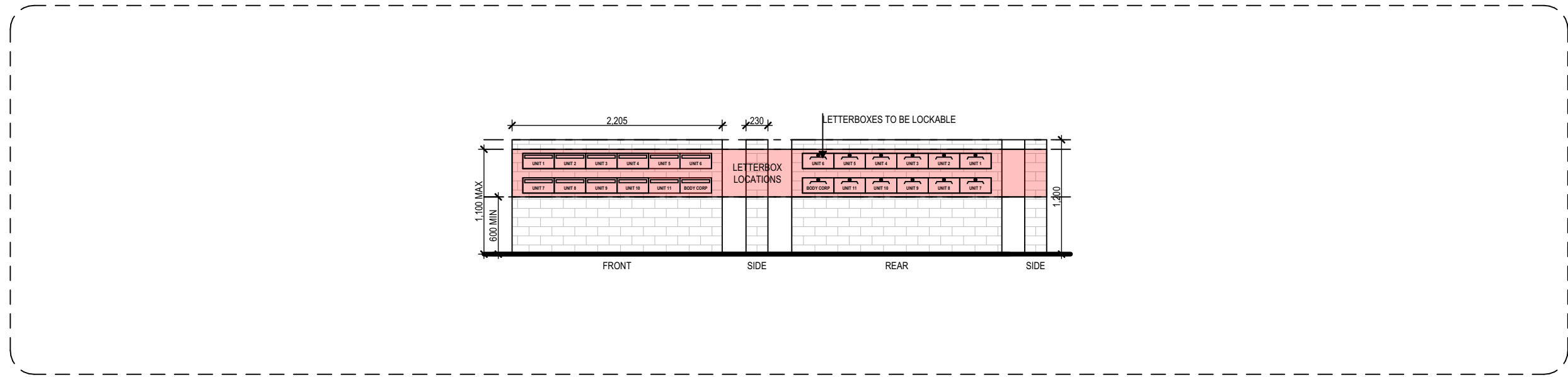
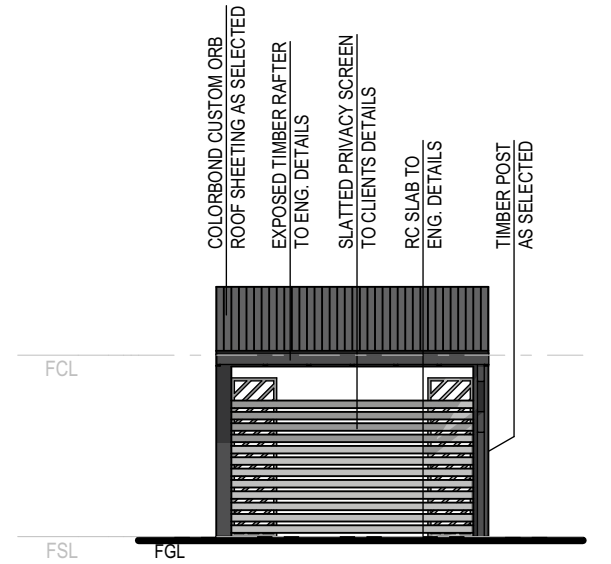
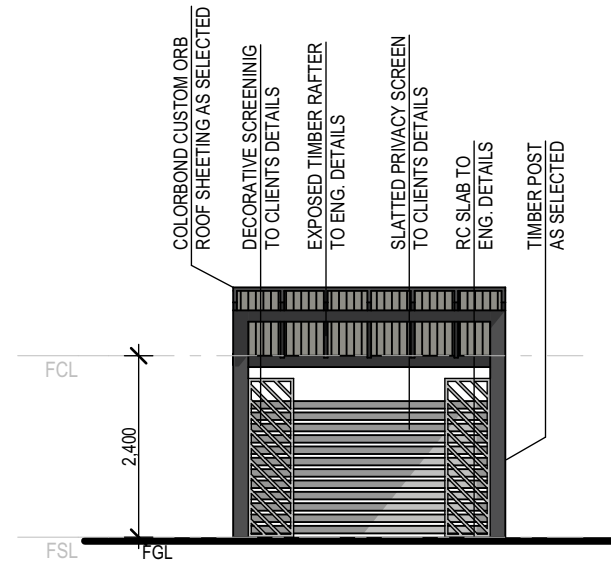
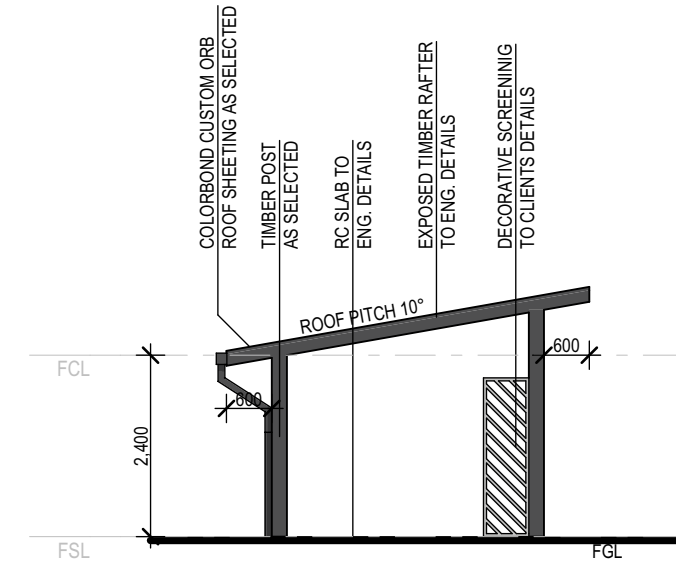
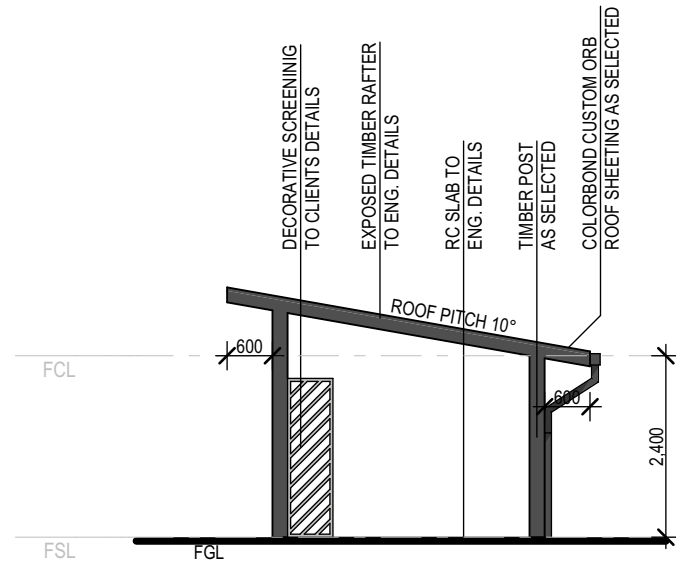
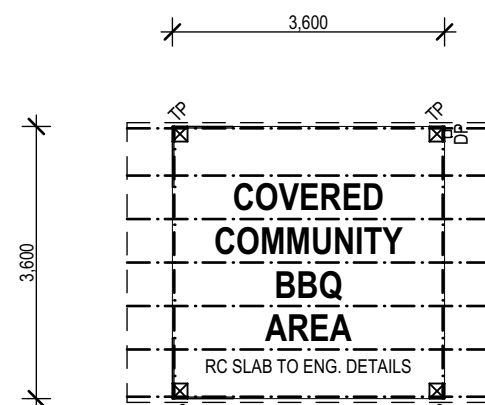
Plot Date: 9/12/202

DEVELOPMENT APPLICATION



MULCONDA CLOSE

| BASIX COMMITMENTS | | | | | | | | | |
|--|---|---|---------------------------------------|---------------------------------------|-------------------------------|--------------------|-----------------------|--------------|--|
| FIXTURES | | | | | | | | | |
| | SHOWERHEADS | TOILETS | KITCHEN TAPS | BATHROOM TAPS | HW RECIRCULATION OR DIVERSION | | | | |
| ALL DWELLINGS | 4 STAR | 4 STAR | 4 STAR | 4 STAR | NO | | | | |
| ALTERNATIVE WATER | | | | | | | | | |
| | ALTERNATIVE WATER SUPPLY | SIZE | CONFIGURATION | LANDSCAPE CONNECTION | TOILET CONNECTION | LAUNDRY CONNECTION | POOL/SPA TOP UP | | |
| ALL DWELLINGS | WATER TANK | 2,000L | 150mm ² OF RUNOFF | YES | YES | NO | NO | | |
| HOT WATER & VENTILATION | | | | | | | | | |
| | HOT WATER SYSTEM | BATHROOM VENTILATION | KITCHEN VENTILATION | LAUNDRY VENTILATION | | | | | |
| ALL DWELLINGS | ELECTRIC BOOSTED SOLAR - 15-20 STC's | INDIVIDUAL FAN, DUCTED TO FACADE/ROOF | INDIVIDUAL FAN, DUCTED TO FACADE/ROOF | INDIVIDUAL FAN, DUCTED TO FACADE/ROOF | | | | | |
| HEATING/COOLING & APPLIANCES | | | | | | | | | |
| | COOLING | HEATING | COOKTOP & OVEN | INDOOR CLOTHES LINE | OUTDOOR CLOTHES LINE | | | | |
| ALL DWELLINGS | 1-PHASE AIR CONDITIONING 2.5 STAR (OLD LABEL) | 1-PHASE AIR CONDITIONING 2.5 STAR (OLD LABEL) | GAS COOKTOP, ELECTRIC OVEN | NO | YES | | | | |
| ARTIFICIAL LIGHTING & ENERGY EFFICIENCY MEASURES | | | | | NATURAL LIGHTING | | | | |
| | POOL HEATING SYSTEM | POOL PUMP | TIMER | SPA HEATING/TIMER | DISHWASHER | DRYER | NO. BATHROOMS/TOILETS | MAIN KITCHEN | |
| UNIT 6 | NO | NO | NO | NO | NO | NO | 1 | NO | |
| UNIT 3/4/5 | NO | NO | NO | NO | NO | NO | 2 | NO | |
| ALL OTHER | NO | NO | NO | NO | NO | NO | 3 | YES | |
| ALTERNATIVE ENERGY | | | | | | | | | |
| DWELLING | PHOTOVOLTAIC SYSTEM (PEAK kW) | | | | | | | | |
| ALL DWELLINGS | NONE | | | | | | | | |



NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY

| REV | DATE | AMENDMENT | DT | CB |
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| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTING ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A RELEVANT REFERENCED AUSTRALIAN STANDARD.

ALL ROOMS DETAILS WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESMAN.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND CONDITIONS PRELIMINARY TO THESE PLANS SUCH AS: COMMONS, ENERGY, RESOURCES ETC.

BOUNDARY COLOURS AND PROPORTIONS FORMS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDED DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A RELEVANT REFERENCED AUSTRALIAN STANDARD.

PROVIDE LEFT OFF RANGES TO BE COOKS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERGROUND PIPES TO ALL NET AREA IN ACCORDANCE WITH CLAUSE 11.1 OF THE BCA 2019.

PROVIDE THERMATE PROTECTION IN ACCORDANCE WITH AS/NZS 4938.

INSULATION MUST COMPLY WITH AS/NZS 4938 AND THE BASIX CERTIFICATE.

CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 1.1.1 OF THE BUILDING CODE OF AUSTRALIA.

LEFT STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4938.

TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title

GATED ENTRY/BBQ AREA/
MAILBOX & FENCING DETAILS

Status

DEVELOPMENT

Scale: 1:100, 1:50 @ A1

Project No.

APPLICATION

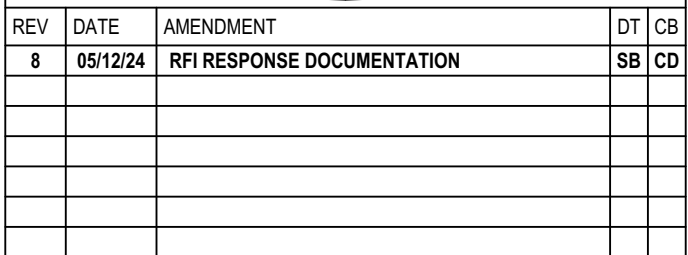
Sheet No.:

WD9

Plot Date:

9/12/2024

DEVELOPMENT APPLICATION

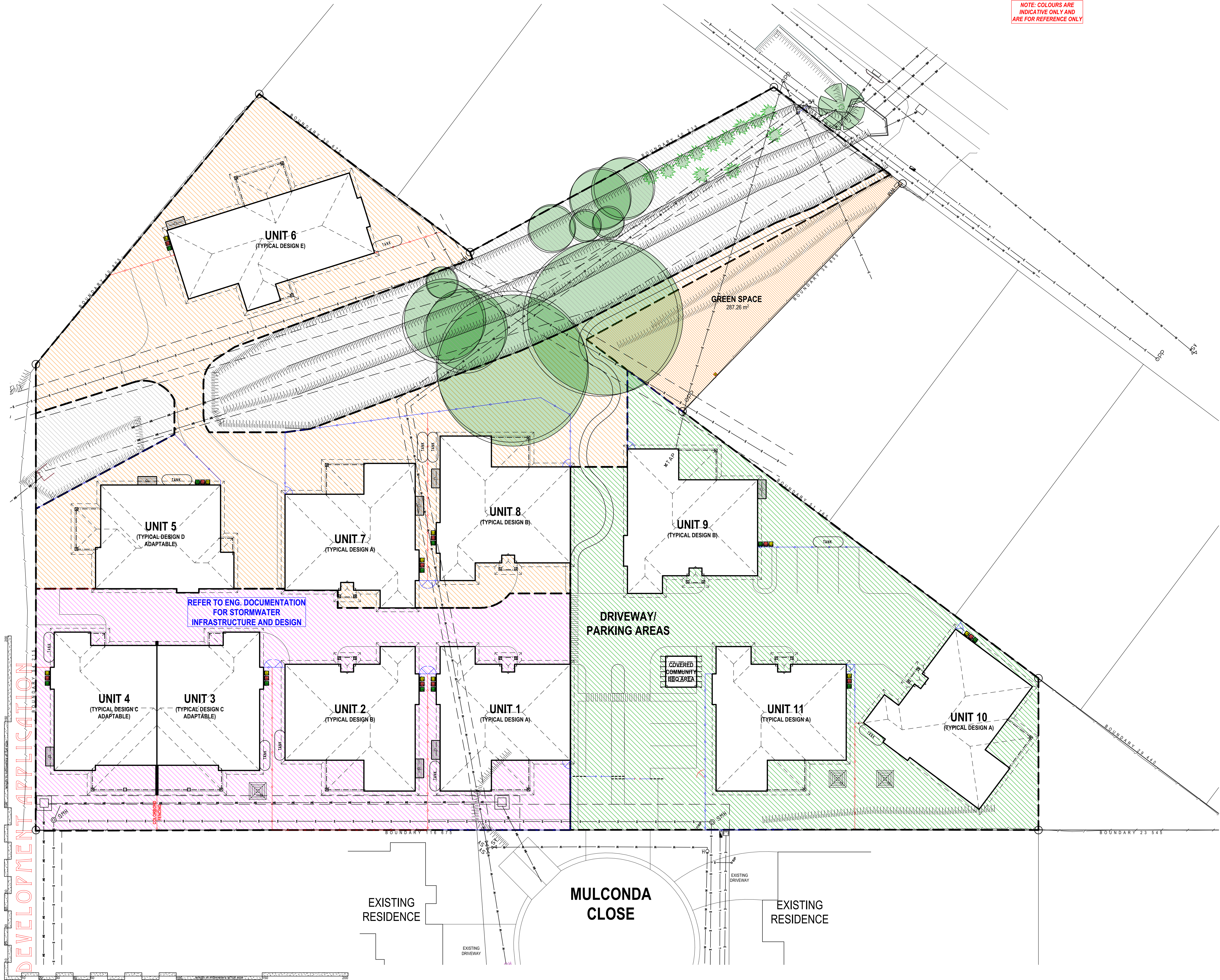
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Drawing Title:
**GREEN SPACE & MANILLA ROAD
CONNECTION**

APPLICATION

Sheet No.:

| | |
|------------|----------|
| Plot Date: | 9/12/202 |
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NOTE: COLOURS ARE
INDICATIVE ONLY AND
ARE FOR REFERENCE ONLY



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DEVELOPMENT NOTES

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ALL WORKS NOTING ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESMAN.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND SPECIFICATIONS PROVIDED BY THE CLIENT & CONSULTANTS SUCH AS: MECHANICAL, ELECTRICAL, PLUMBING, ETC.

BOUNDARY CONDITIONS AND PROVISIONS FORM ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL MEASUREMENTS, DIMENSIONS, AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

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DO NOT SCALE DRAWINGS - USE DIMENSIONS PROVIDED ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDED DOWNPIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

PROVIDE LIFT OFF RANGERS TO MC DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERPINNING SYSTEMS TO ALL RET WALLS IN ACCORDANCE WITH CLAUSE 11 OF THE BCA & AS/NZS 4576.

PROVIDE THERMAL PROTECTION IN ACCORDANCE WITH AS/NZS 4576.

INSULATION MUST COMPLY WITH AS/NZS 4576 AND THE BASIS CERTIFICATE.

CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 1.6 OF THE BUILDING CODE OF AUSTRALIA.

OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4576.



STAGE 1

STAGE 2

STAGE 3

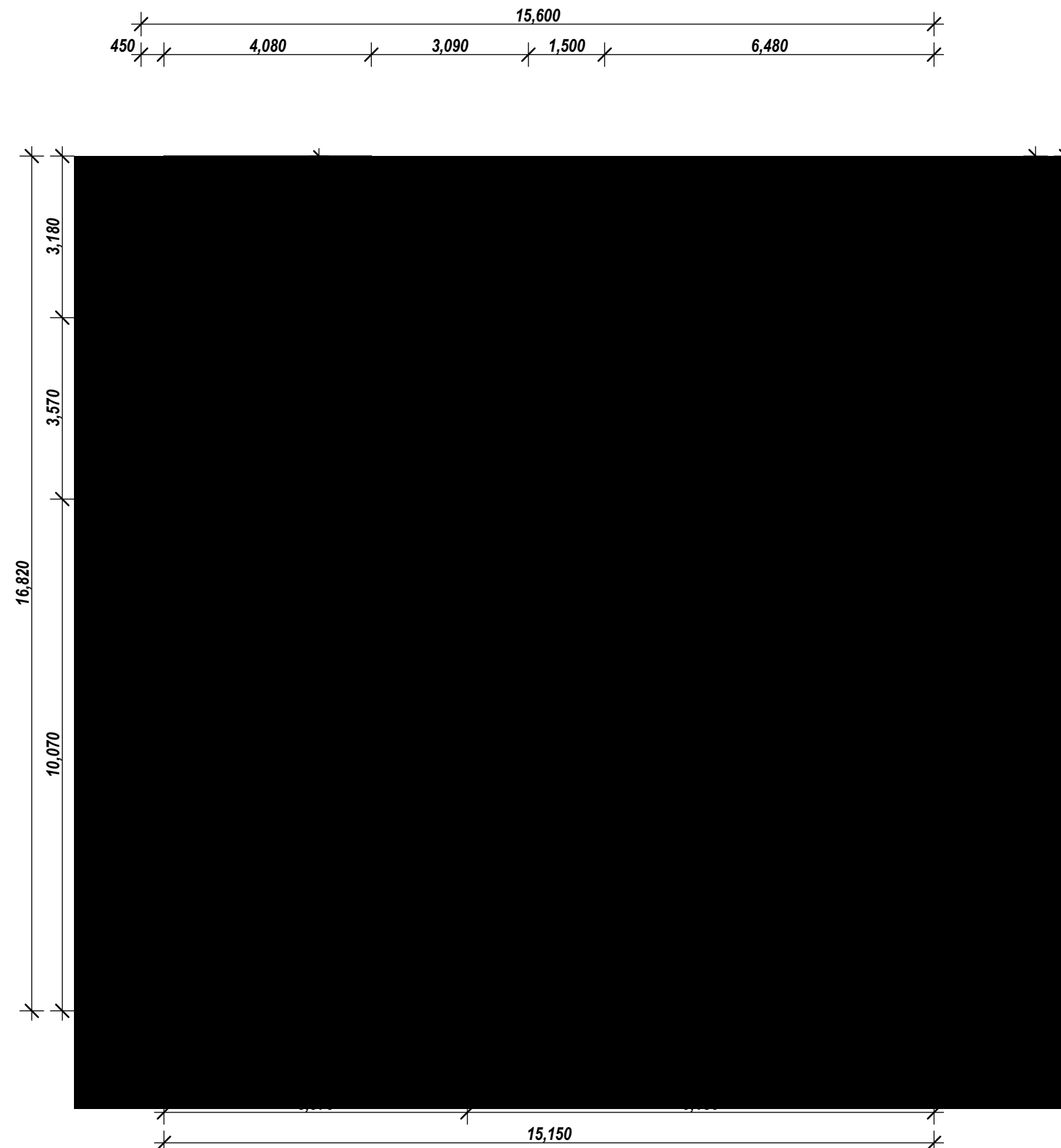
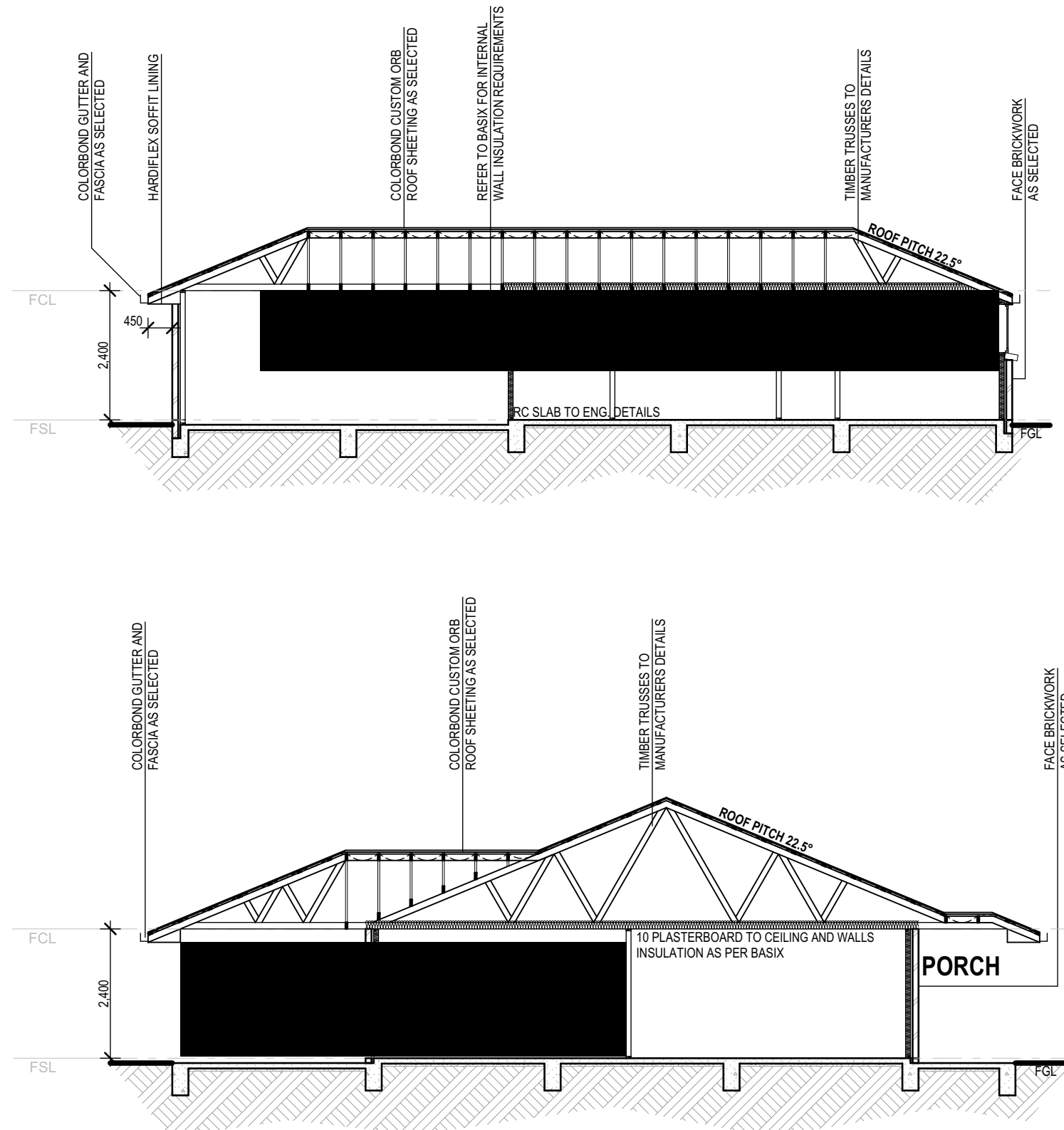
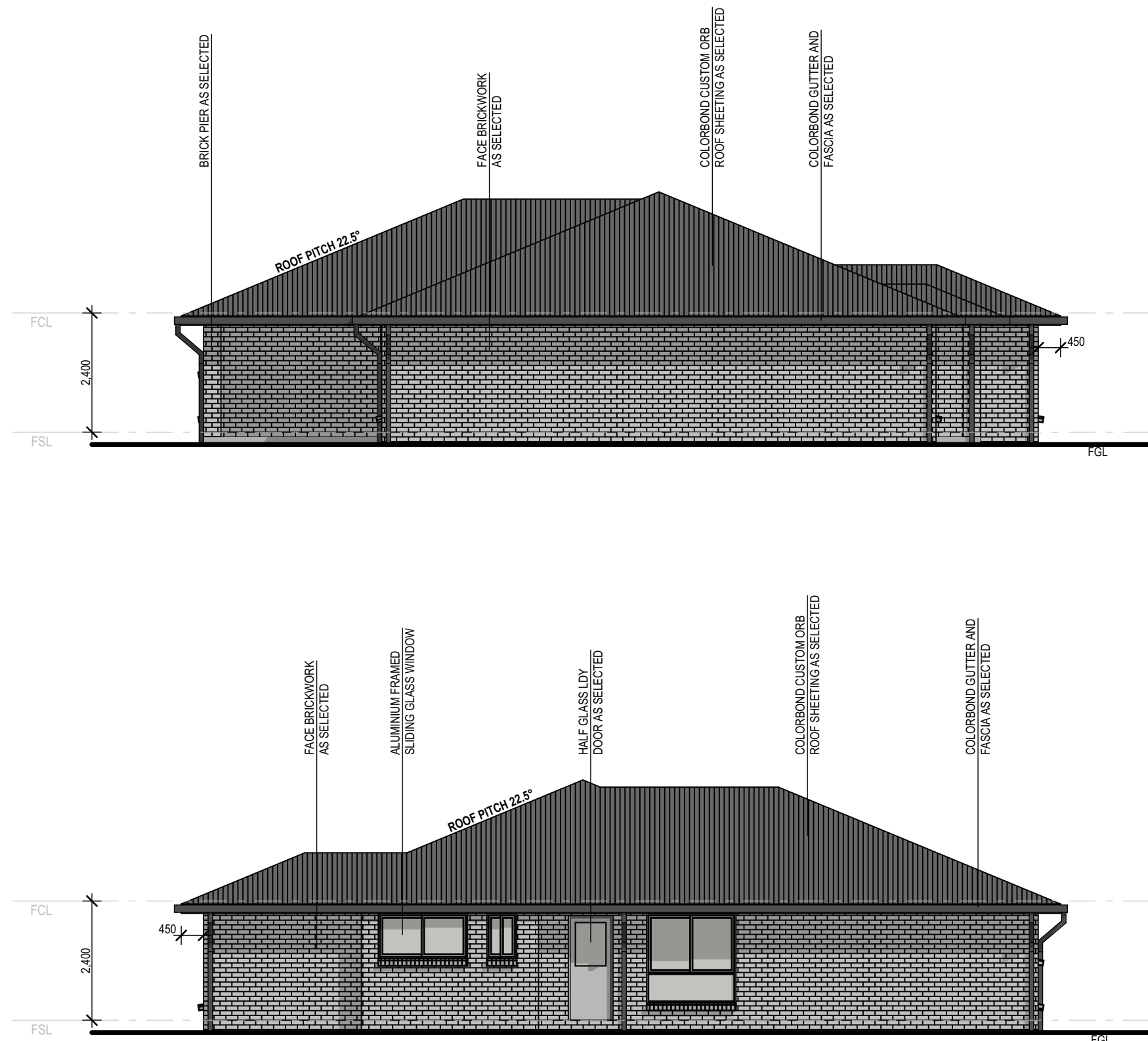
TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREY-WATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name:
SUNFLOWER GARDENS
15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title:
STAGING PLAN

| | |
|-------------------------|-------------------|
| Status: DEVELOPMENT | Scale: 1:200 @ A1 |
| Project No: APPLICATION | Sheet No.: WD11 |
| 23142 | |
| Plot Date: | 9/12/2024 |

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**NOTE: COLOURS ARE
INDICATIVE ONLY AND
ARE FOR REFERENCE ONLY**



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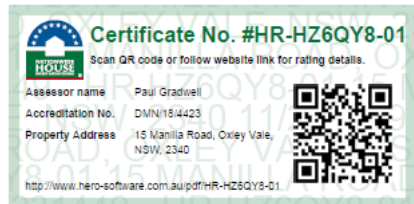
| LEGEND | | FLOOR AREAS | |
|--------|-----------------------|------------------|---------------------------|
| WT | 3000 LITRE WATER TANK | MAIN LIVING AREA | 159.6m ² |
| TP | 3000x3000 TIMBER POST | GARAGE AREA | 59.7m ² |
| SB | 3000x3000 BRICK PIER | ALFRESKO AREA | 16.2m ² |
| SC | 80x80 STEEL COLUMN | PORCH AREA | 3.3m ² |
| SA | SAFETY | | |
| DP | DOWN PIPE | TOTAL | 218.8m² |
| ST | STONE | | |
| SNK | SNK | | |
| W | WATER CLOSET | | |
| SHR | SHOWER | | |
| RC | REINFORCED CONCRETE | | |
| WH | WATER METER | | |
| CL | CLOTHES LINE | | |
| FW | FLOOR WATER | | |
| FWU | HOT WATER UNIT | | |
| MSB | MAIN SWITCH BOARD | | |
| FFL | FINISHED FLOOR LEVEL | | |
| SFL | FINISHED SLAB LEVEL | | |
| ESL | EXISTING GROUND LEVEL | | |
| FSL | FINISHED GROUND LEVEL | | |
| | NOTE | | |
| | SOLAR TIE | | |
| | SMOKE ALARM | | |

TRC NOTES
ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

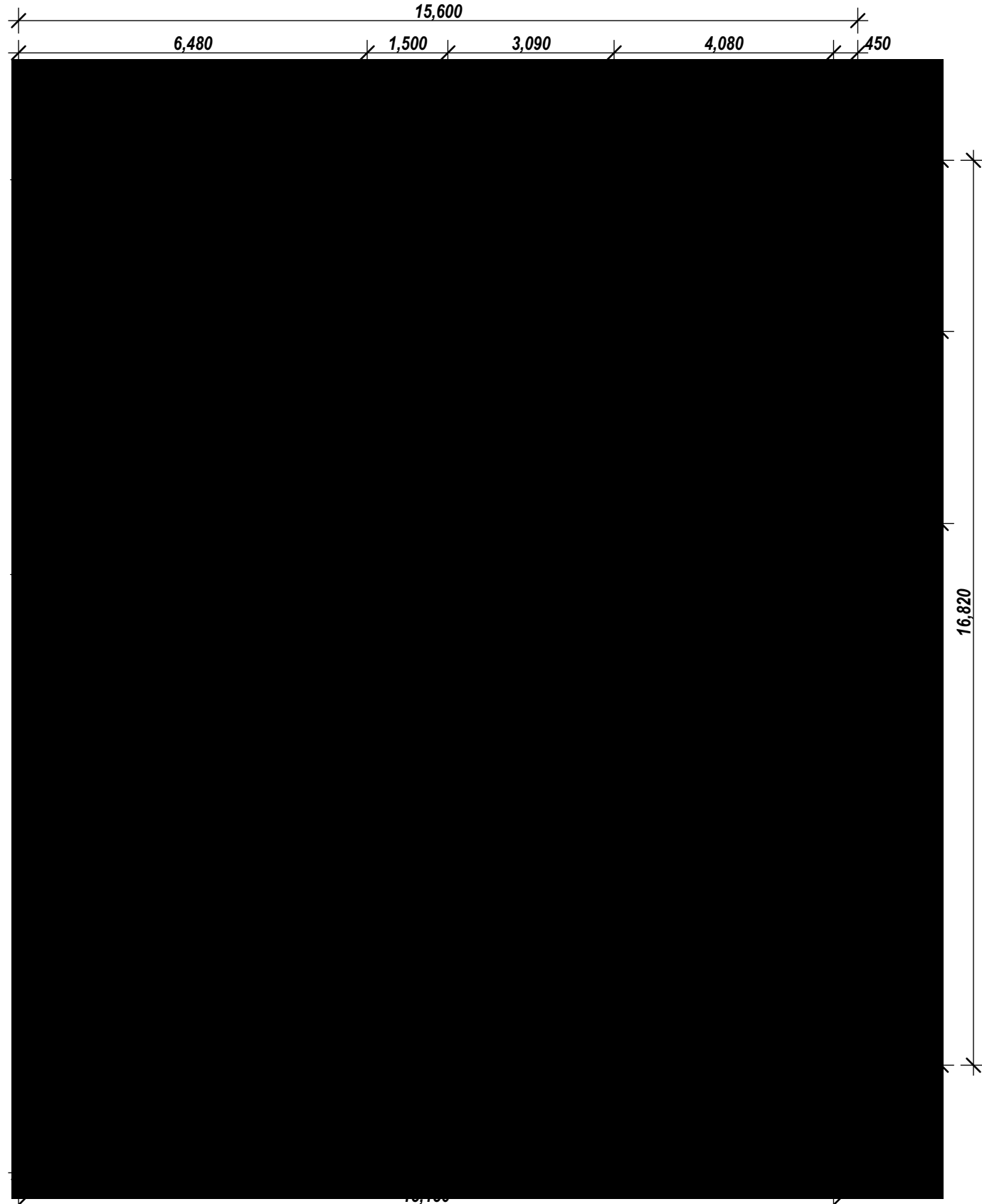
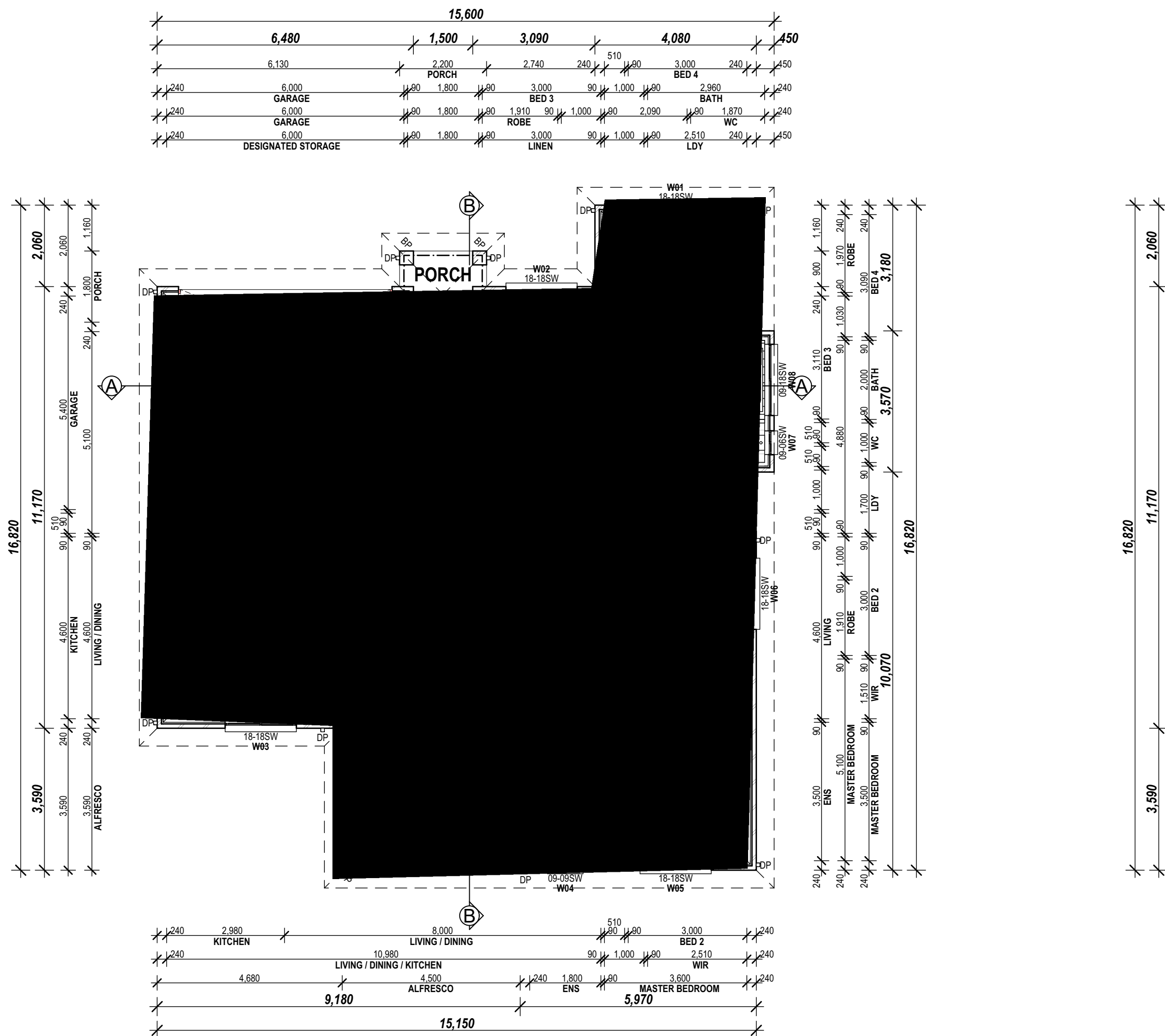
SUNFLOWER GARDENS
15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title:
TYPICAL DESIGN A

| | | | |
|-------------|-----------------------------|------------|-------------|
| Status: | DEVELOPMENT | Scale: | 1:100 @ A1 |
| Project No: | APPLICATION 23142 | Sheet No.: | WD12 |
| Plot Date: | 9/12/2024 | | |



DEVELOPMENT APPLICATION



NOTE: COLOURS ARE INDICATIVE ONLY AND ARE FOR REFERENCE ONLY



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DEVELOPMENT NOTES

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ALL ROOMS DETAIL WITHIN THESE PLANS ARE TO BE COMPLETED BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FEATURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND COLLATIONS PREPARED BY DESIGNER CONSULTANTS SUCH AS ENGINEERING, LANDSCAPE ARCHITECTURE ETC.

BOUNDARY CONDITIONS AND PROVISIONS FORMS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

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PROVIDED DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

PROVIDE LIFT OFF RANGERS TO ALL DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERGROUND PIPES TO ALL NET AREA IN ACCORDANCE WITH CLAUSE 3.1 OF THE BCA & AS/NZS 4576.

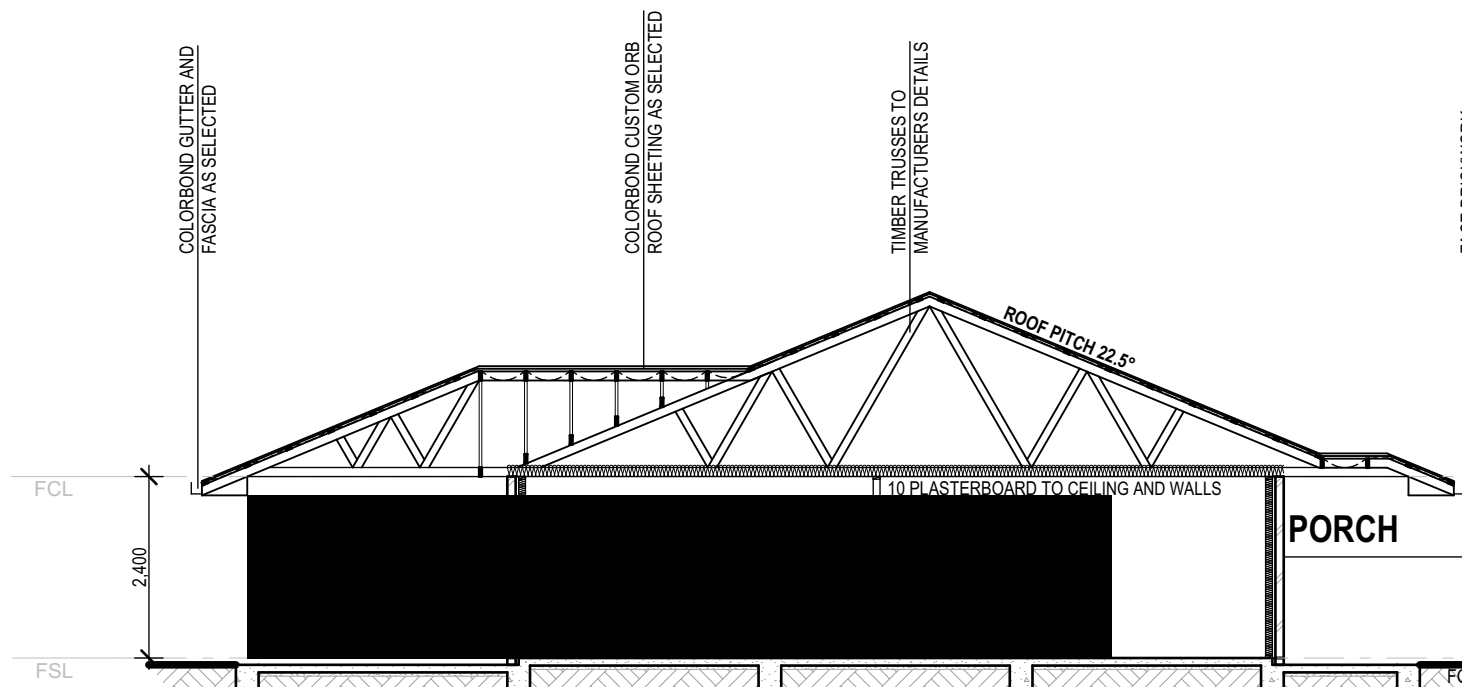
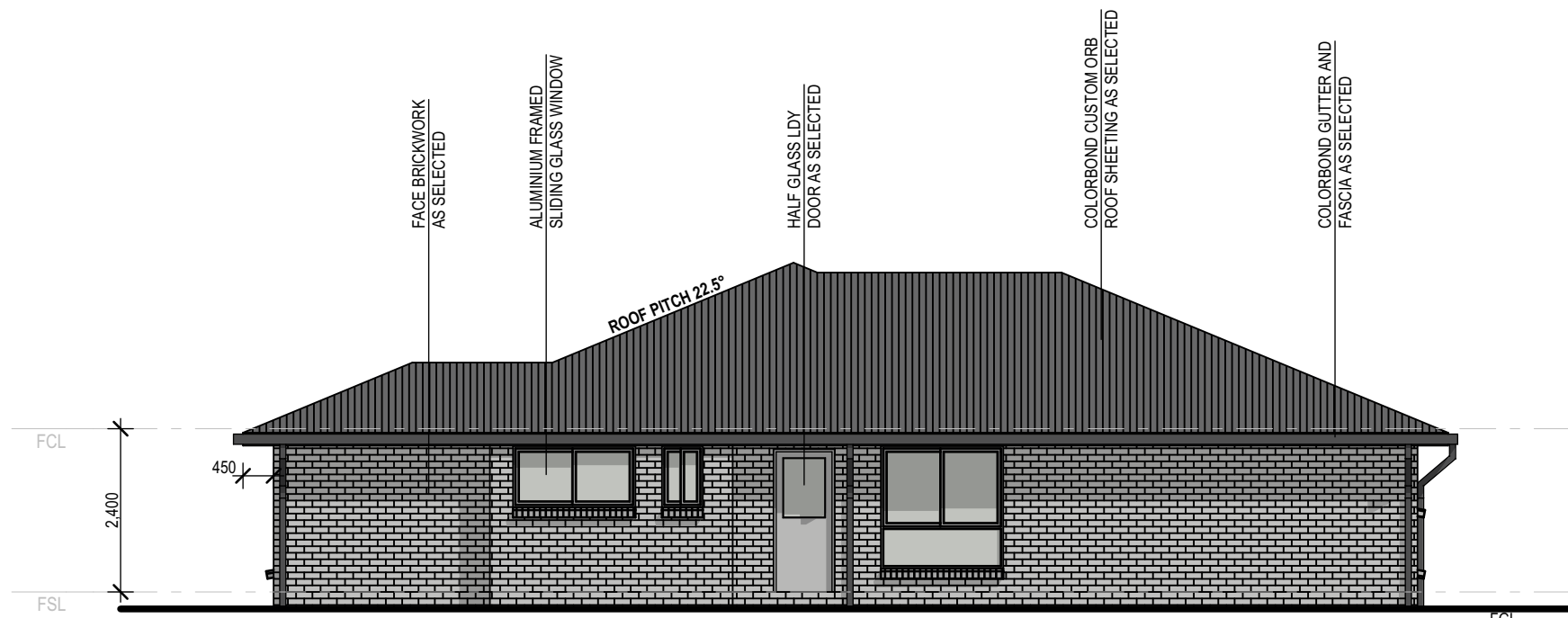
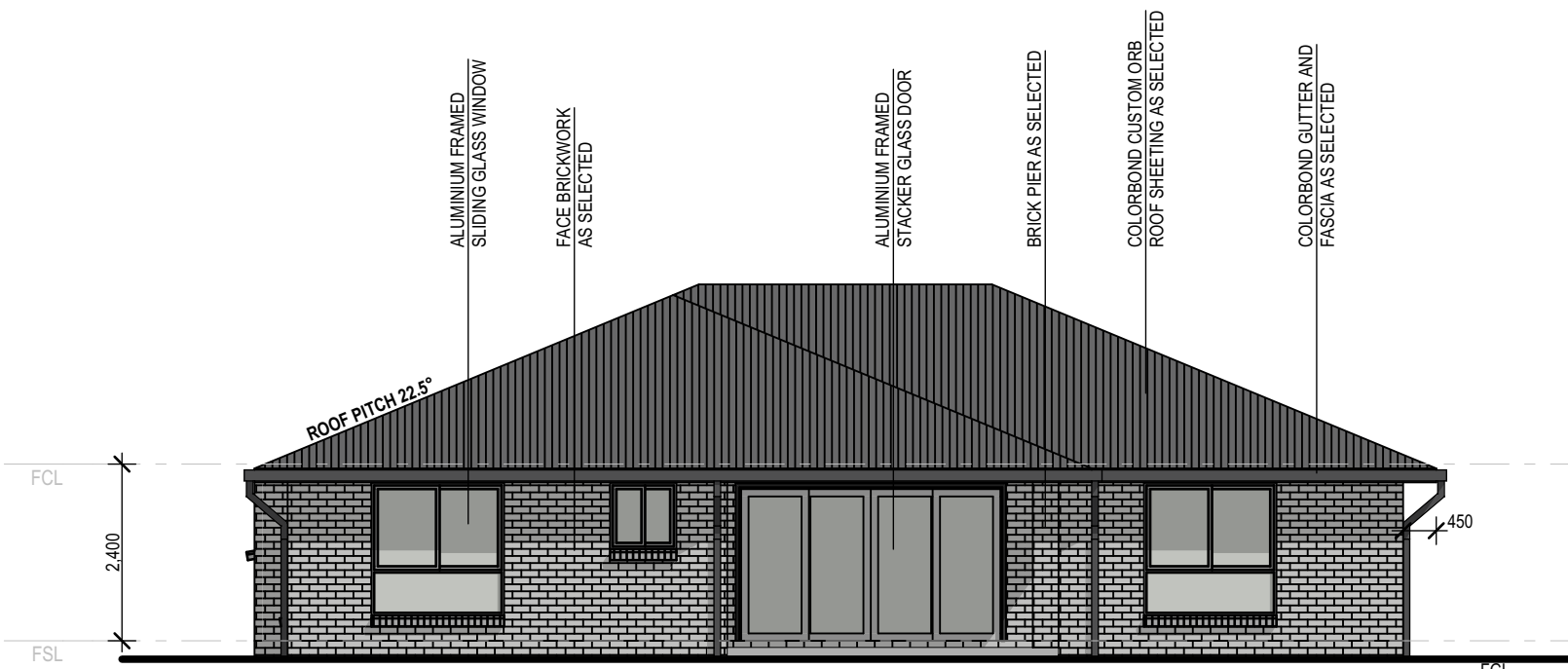
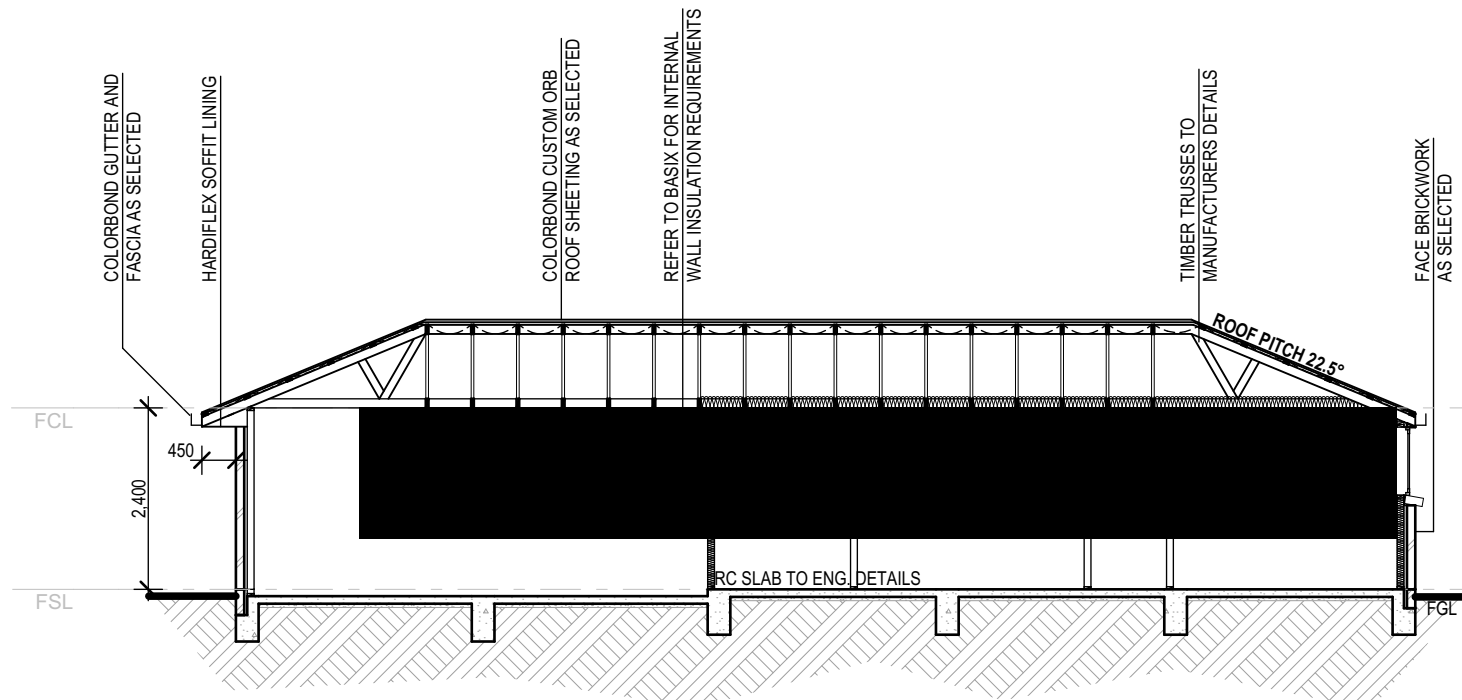
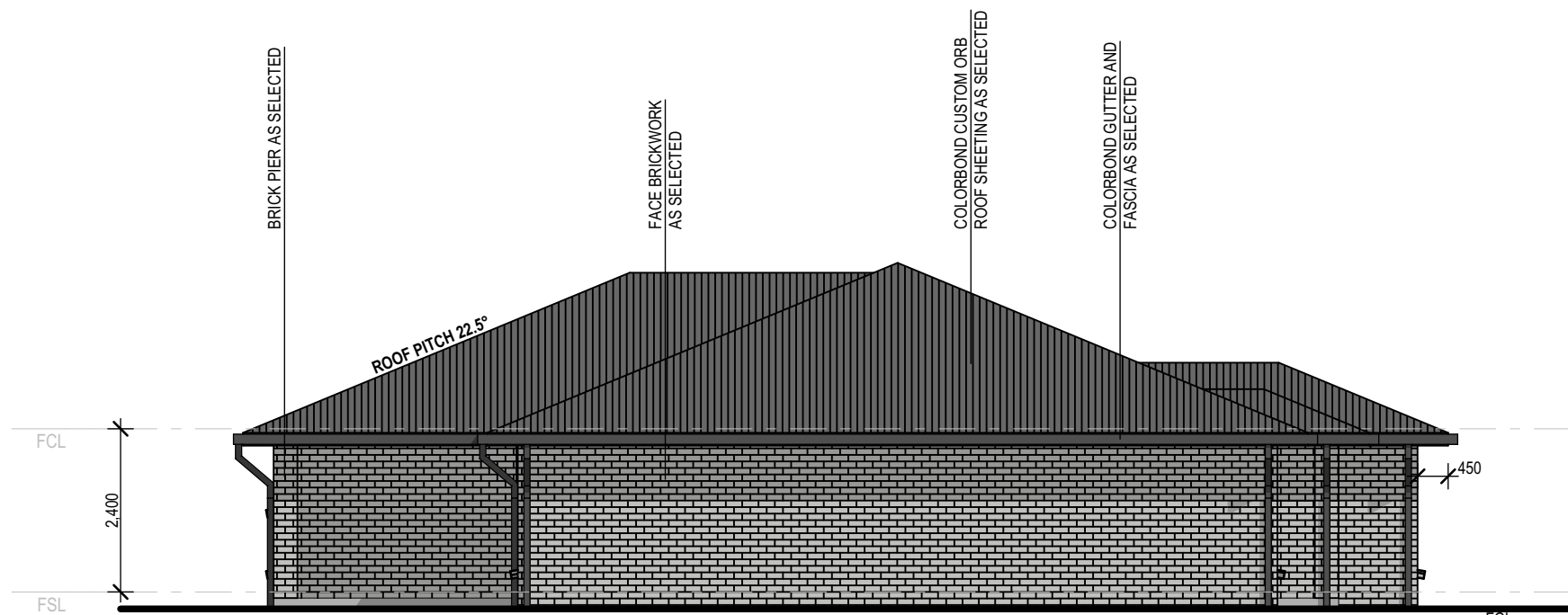
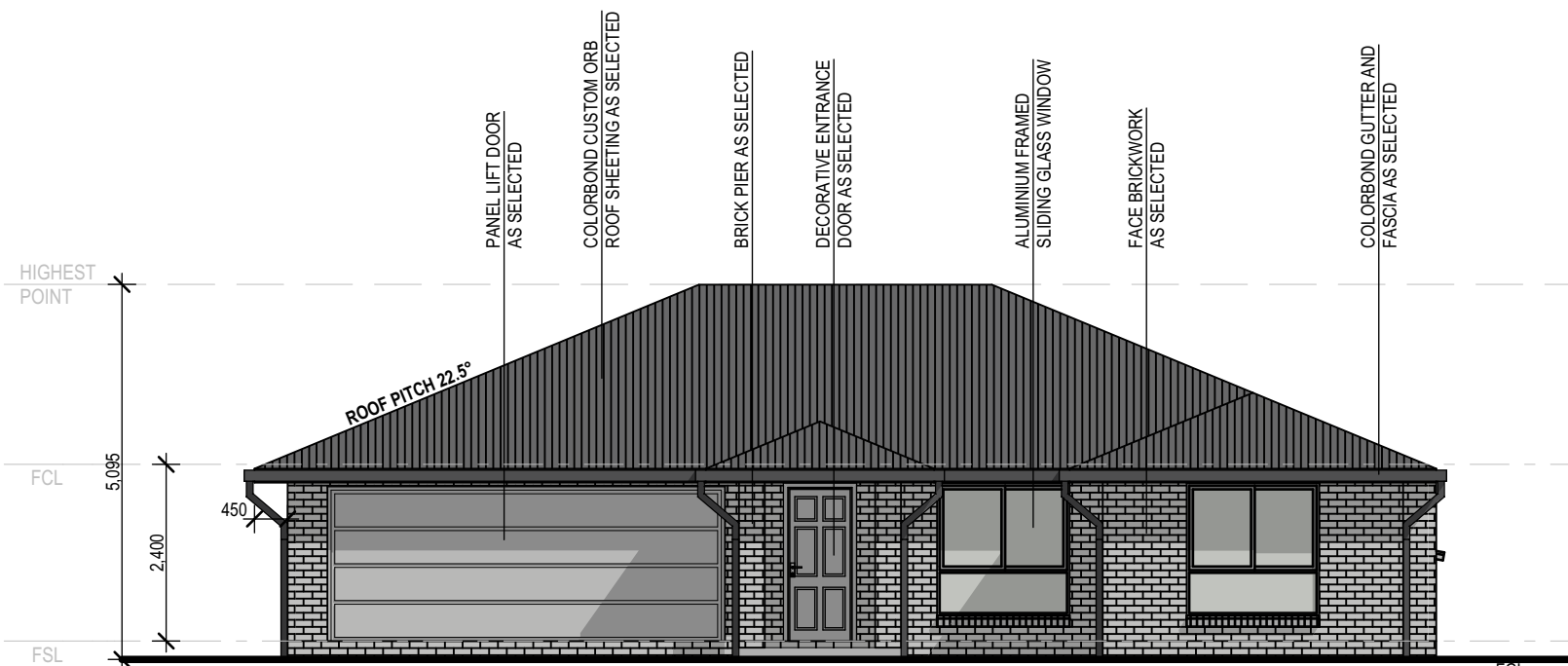
PROVIDE TYPICAL PROTECTION IN ACCORDANCE WITH AS/NZS 4576.

INSULATION MUST COMPLY WITH AS/NZS 4576 & THE BASIS CERTIFICATE.

CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.1.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4576.

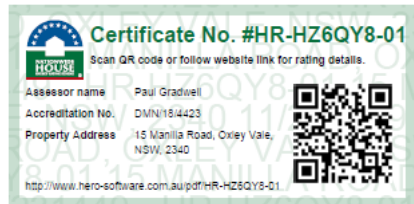
| LEGEND | FLOOR AREAS | | |
|--------|-----------------------|------------------|---------------------|
| WT | 3000 LITRE WATER TANK | MAIN LIVING AREA | 159.8m ² |
| TP | 200/200 TIMBER POST | GARAGE AREA | 38.2m ² |
| BP | 300/200 BRICK PIER | ALFRESCO AREA | 16.2m ² |
| SC | 50/60 STEEL COLUMN | PORCH AREA | 3.3m ² |
| SA | SMOKE ALARM | | |
| DP | DOWN PIPE | TOTAL | 218.8m ² |
| ST | STOVE | | |
| WC | SINK | | |
| WC | WATER CLOSET | | |
| SHR | SHOWER | | |
| RC | REINFORCED CONCRETE | | |
| WM | WATER METER | | |
| CL | CLOTHES LINE | | |
| FW | FLOOR WASTE | | |
| HWU | HOT WATER UNIT | | |
| MSB | MAIN SWITCH BOARD | | |
| PFL | FINISHED FLOOR LEVEL | | |
| FSL | FINISHED SLAB LEVEL | | |
| EGL | EXISTING GROUND LEVEL | | |
| FGL | FINISHED GROUND LEVEL | | |
| NIC | NICHE | | |
| SAT | SOLAR TUBE | | |
| SA | SMOKE ALARM | | |

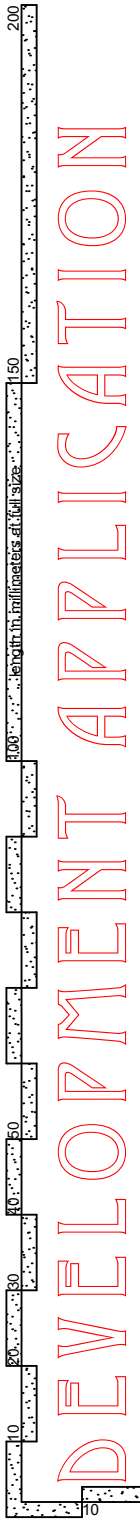


TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

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| Project Name | |
| SUNFLOWER GARDENS | |
| 15 MANILLA ROAD OXLEYVALE NSW 2340 | |
| Drawing Title | |
| TYPICAL DESIGN B | |
| Status: DEVELOPMENT | Scale: 1:100 @ A1 |
| Project No: APPLICATION | Sheet No.: |
| 23142 | WD13 |
| Plot Date: | 9/12/2024 |





DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THIS PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENCED TRADESPERSON.

ALL PRODUCTS & FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS DATED 15/06/2018 FOR RELEVANT CONSULT TENDTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.



LEVELS ON PLANS ARE INDICATED ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

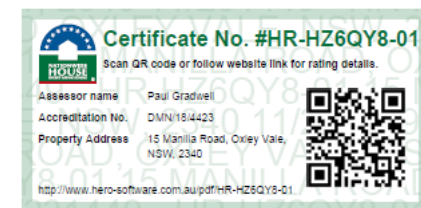
ALL NEIGHBOURHOOD SERVICES ARE TO BE IDENTIFIED AND CO-ORDINATED WITH ANY WORKING AGENCIES.

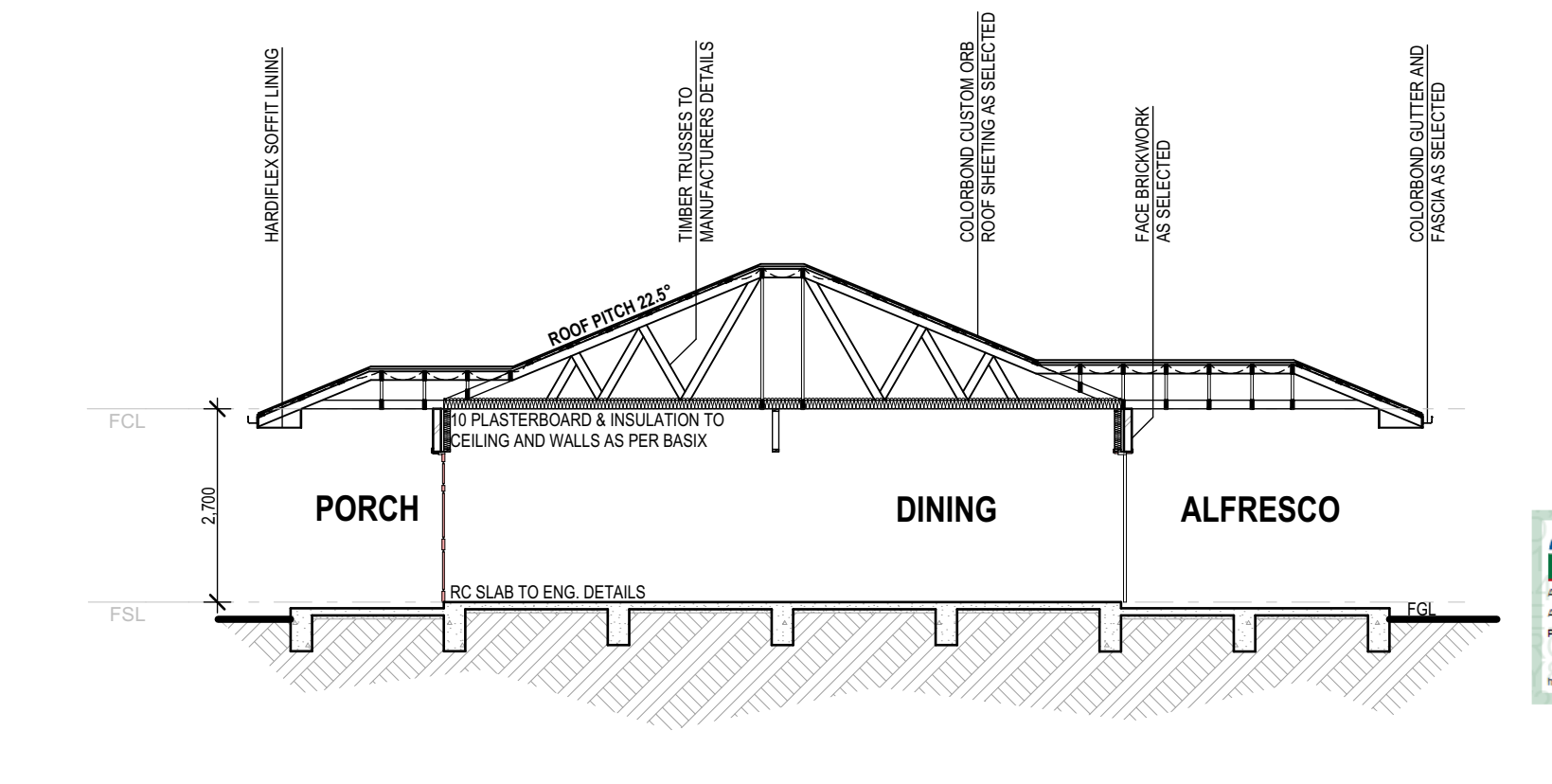
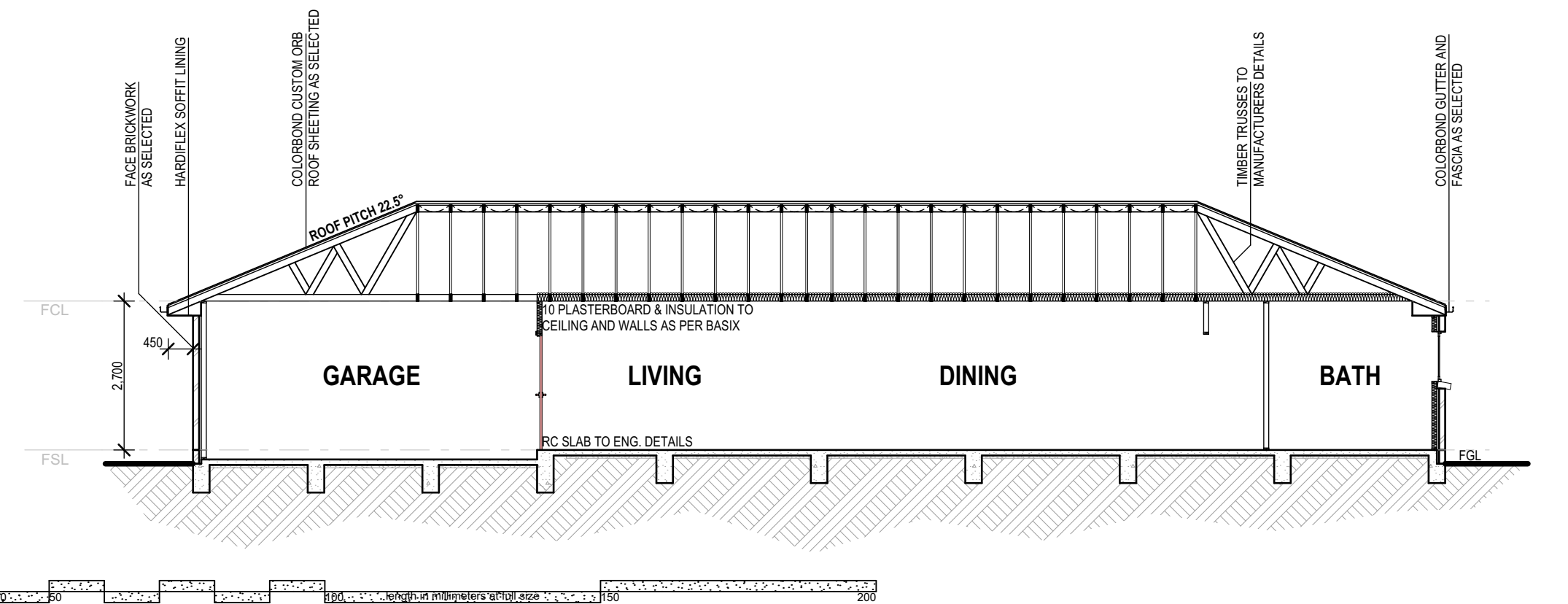
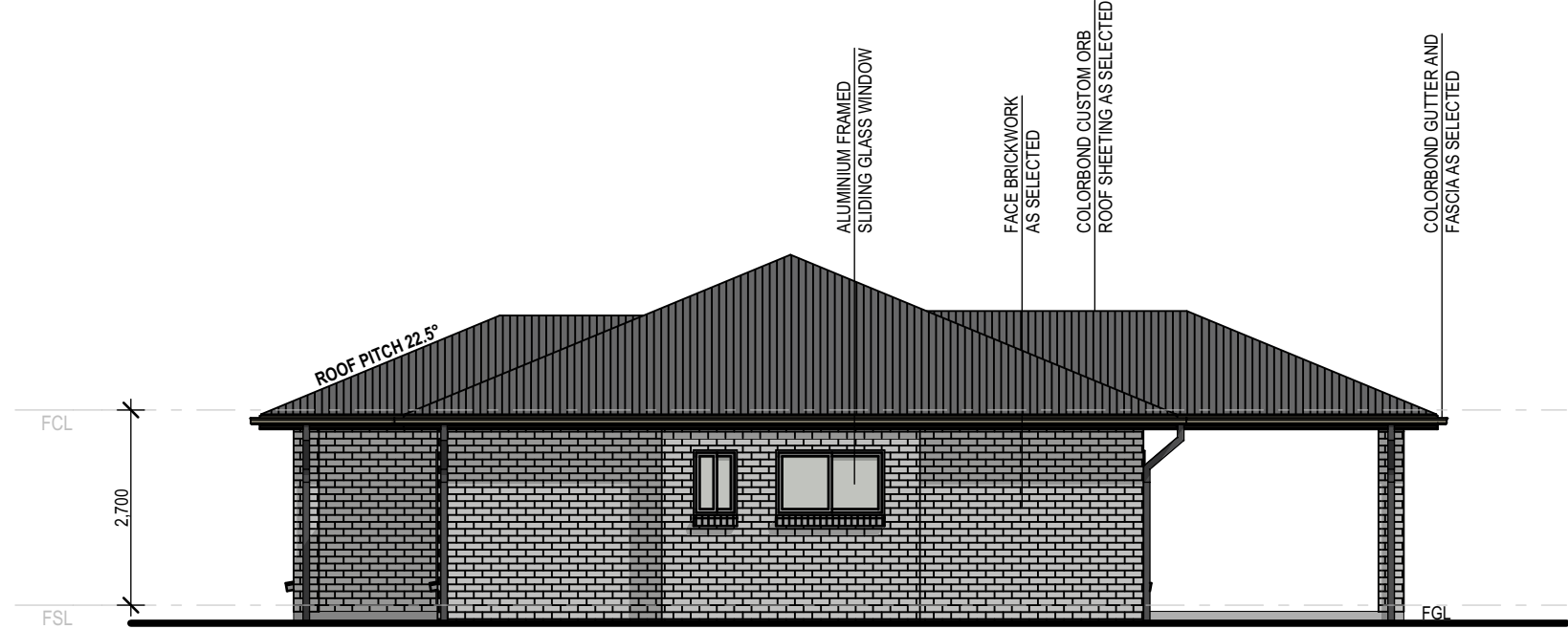
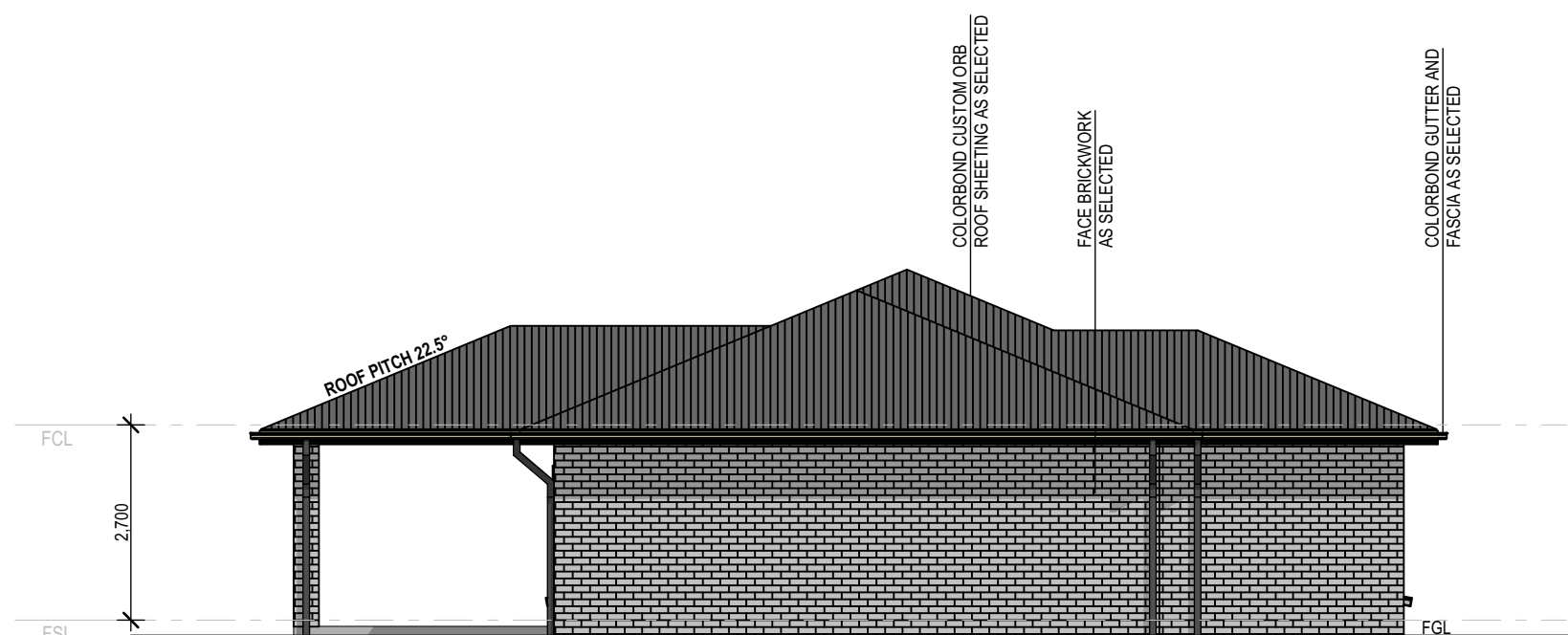
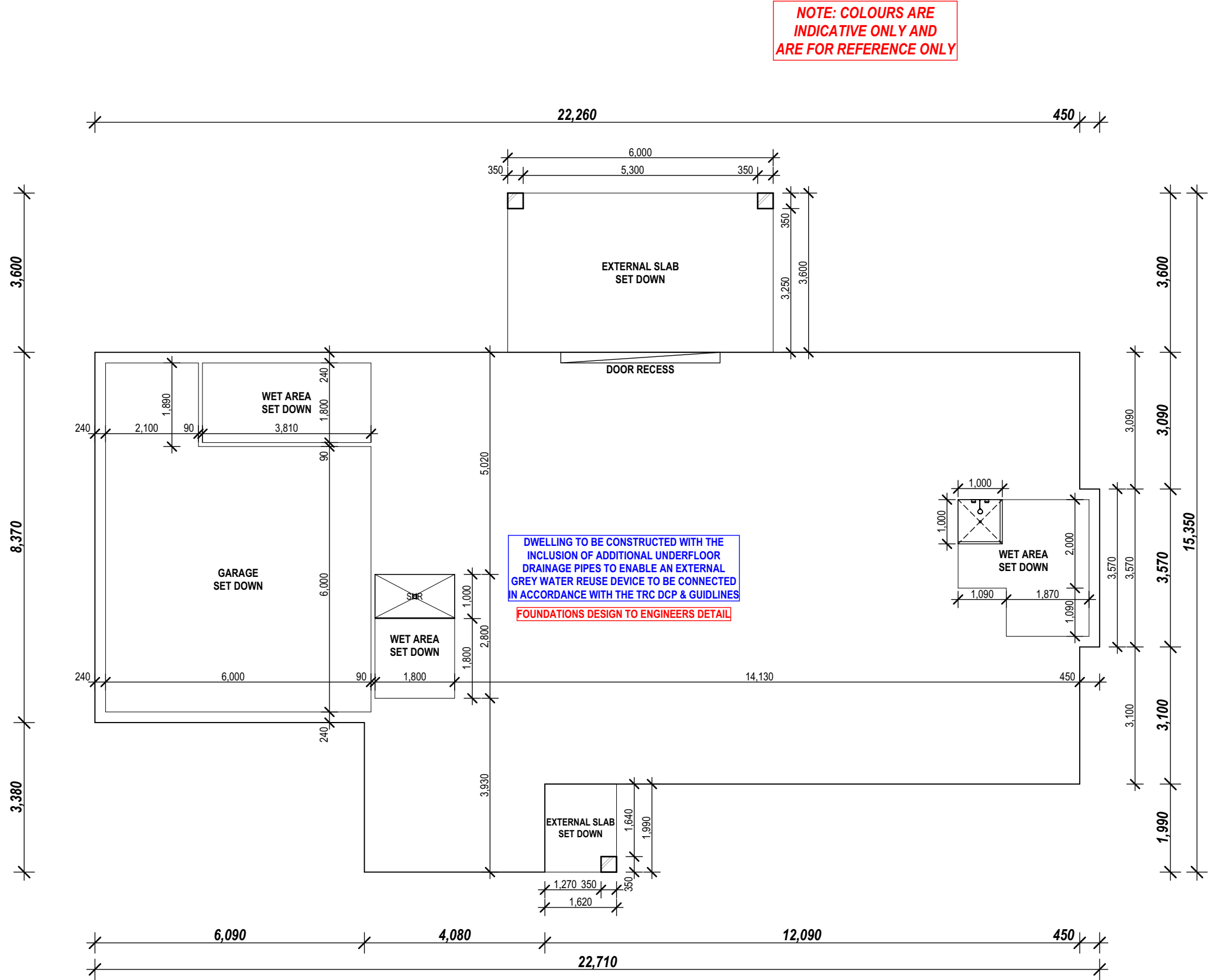
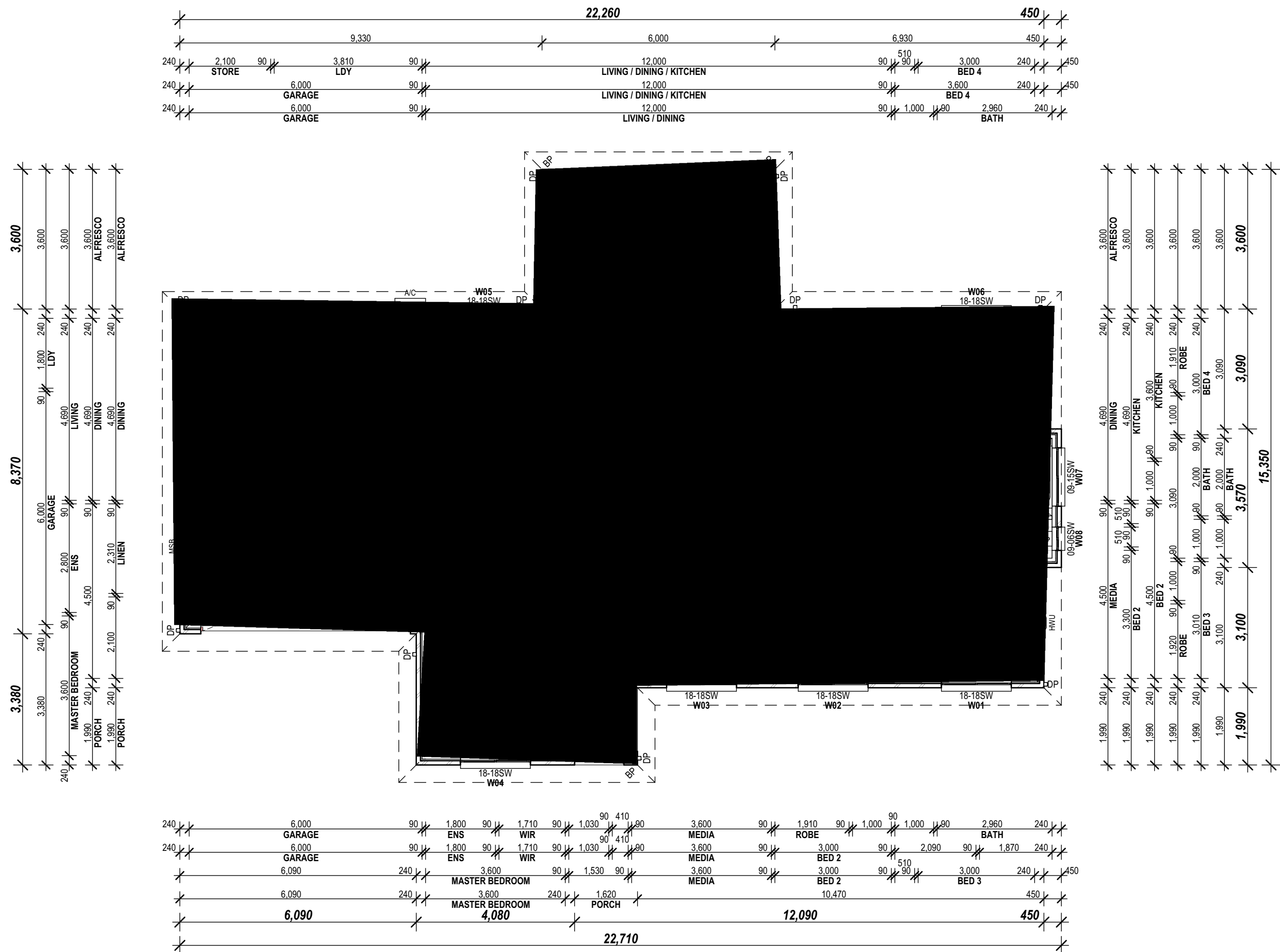
ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

LEGEND

| | |
|---|-----------------------|
| WTR | 3000 LITRE WATER TANK |
| TTB | 200x50 TUBES POST |
| BP | 350x50 BRICK PIER |
| SS | 300x50 STEEL COLUMN |
| SA | SMOKE ALARM |
| SP | DOWN PIPE |
| STK | STOVE |
| SWK | SWIM |
| WCL | WATER CLOSET |
| SHR | SHOWER |
| RC | REINFORCED CONCRETE |
| WTR | WATER |
| CL | CLOTHES LINE |
| FWU | FLOOR WATERS |
| MEB | MAIN SWITCH BOARD |
| FEL | FISHED FLOOR LEVEL |
| FSL | FISHED SLAB LEVEL |
| FGL | EXISTING GROUND LEVEL |
| FGL | FISHED GROUND LEVEL |
| | NONE |
|  | SOLAR TUBE |
|  | SMOKE ALARM |





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DEVELOPMENT NOTES

ALL WORKS NOTED ARE TO BE COMPLETED BY THE BUILDING OWNER OR A RELEVANT LICENSED AUSTRALIAN TRADESMAN.

ALL WORKS NOTED ARE TO BE COMPLETED BY THE BUILDING OWNER OR A RELEVANT LICENSED AUSTRALIAN TRADESMAN.

ALL PRODUCTS & FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND SPECIFICATIONS PROVIDED BY THE BUILDING OWNER OR A RELEVANT LICENSED AUSTRALIAN TRADESMAN.

BOUNDARY CONDITIONS AND PROVISIONS FORM ARE TO BE COMPLETED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL MEASUREMENTS & DIMENSIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND COMPLETED PRIOR TO ANY WORK BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED "CONSTRUCTION".

DO NOT SCALE DRAWINGS - USE DIMENSIONS PROVIDED ONLY.

ANY SERVICES & OBSTRUCTIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT OF SITE.

PROVIDE DOWN PIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT MANUFACTURER DETAILS.

PROVIDE LIFT OFF RANGERS TO ALL DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE HANDICAPPED ACCESS TO ALL WET AREAS IN ACCORDANCE WITH CLAUSE 11 OF THE BCA 2019.

PROVIDE THERMATE PROTECTION IN ACCORDANCE WITH AS/NZS 1530.1.

INSULATION MUST COMPLY WITH AS/NZS 4858 AND THE BASIX CERTIFICATE.

INSULATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.1.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 2900:2019.

| LEGEND | FLOOR AREAS |
|-------------|-----------------------|
| WT | 3000 LITRE WATER TANK |
| TP | 200x200 TIMBER POST |
| BP | 300x200 BRICK PIER |
| SC | 300x200 STEEL COLUMN |
| SA | SMOKE ALARM |
| DA | DOWN PIPE |
| ST | STONE |
| SINK | WATER CLOSET |
| WC | WATER CLOSET |
| SHR | SHOWER |
| HC | REINFORCED CONCRETE |
| WM | WATER METER |
| CL | CLOTHES LINE |
| FW | FLOOR WASTE |
| HWU | HOT WATER UNIT |
| MSB | MAIN SWITCH BOARD |
| PFL | FINISHED FLOOR LEVEL |
| FSL | FINISHED SLAB LEVEL |
| EG | EXISTING GROUND LEVEL |
| FS | FINISHED GROUND LEVEL |
| NICHE | NICHE |
| SOLAR TUBE | SOLAR TUBE |
| SMOKE ALARM | SMOKE ALARM |

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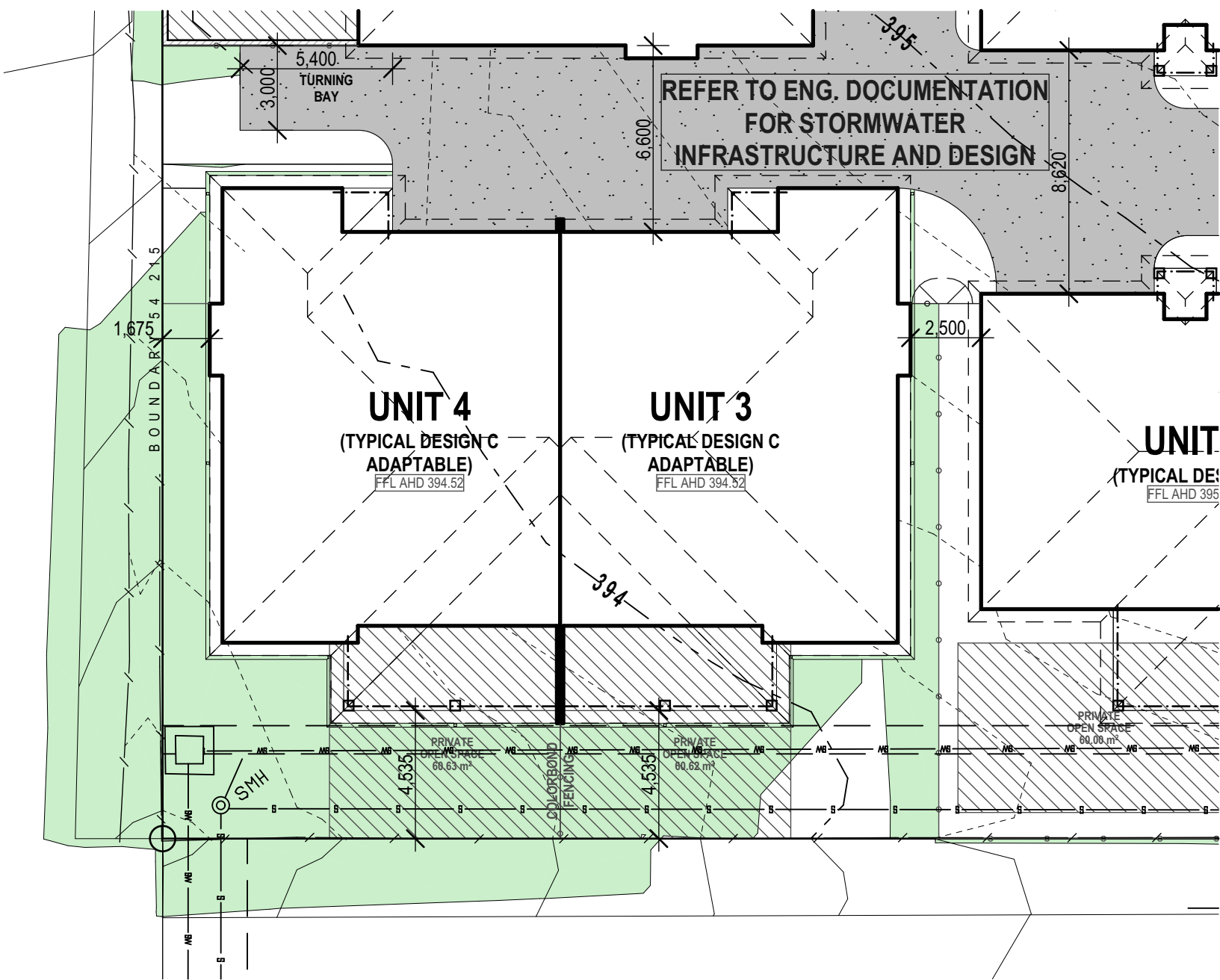
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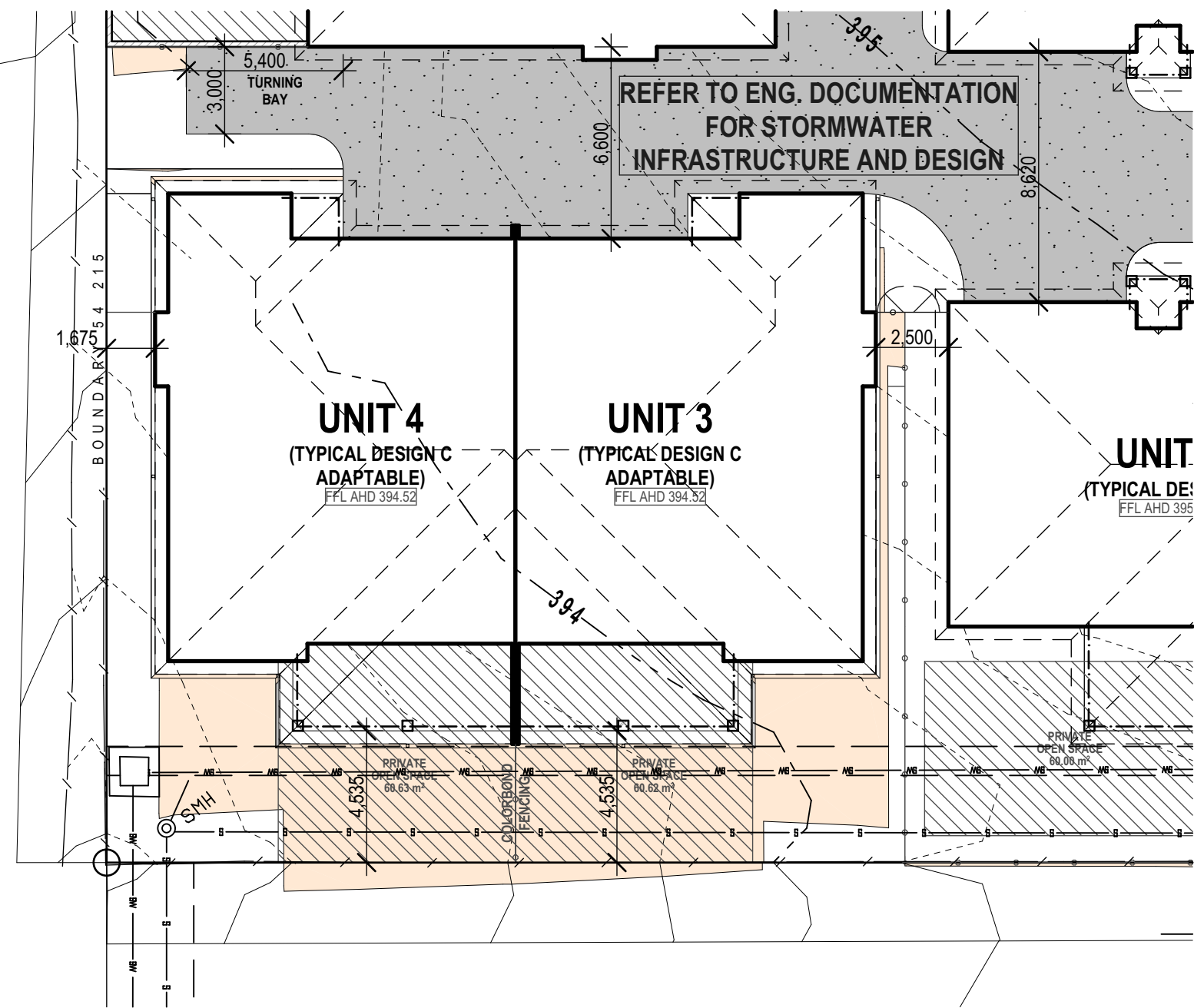
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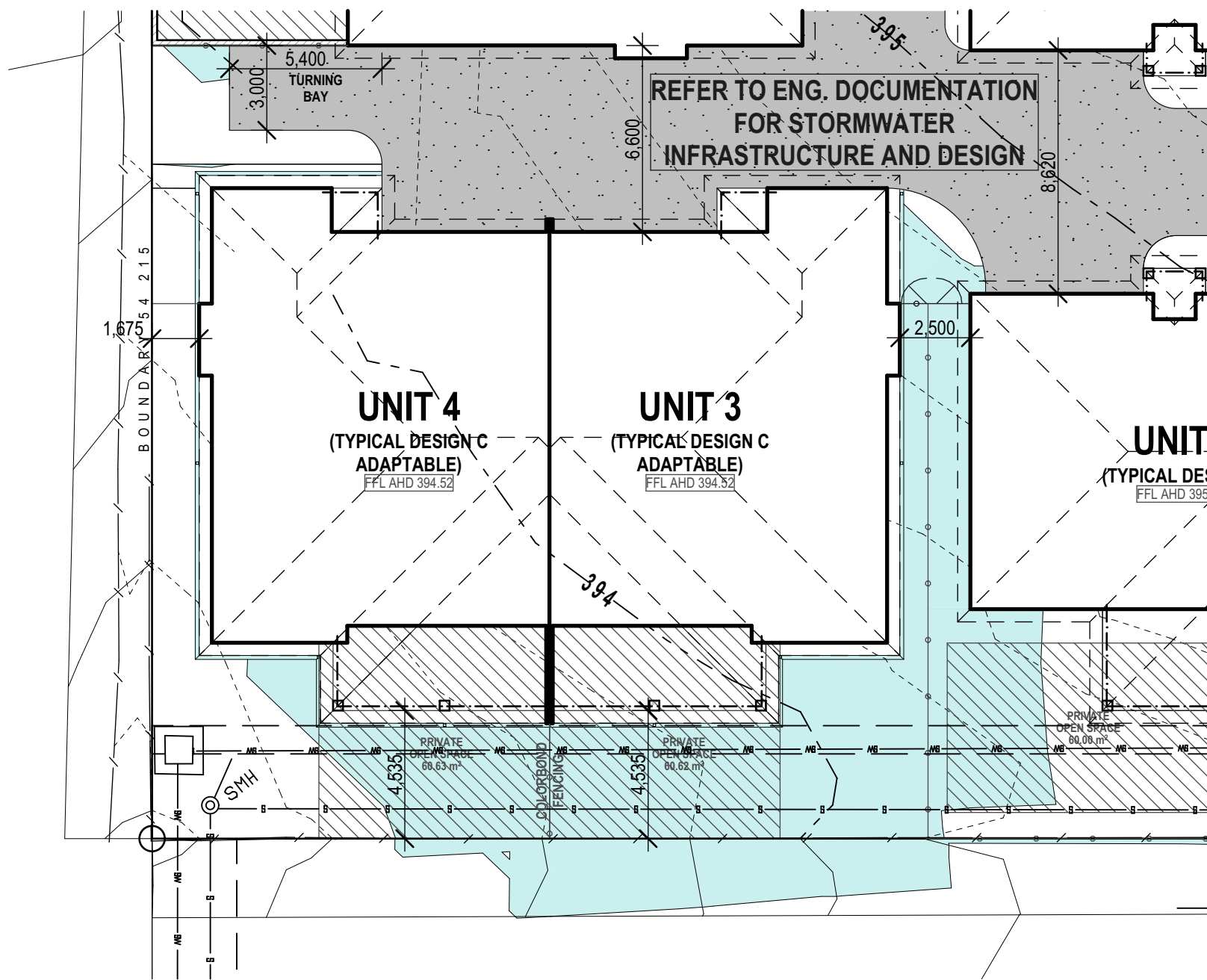
NOTE: COLOURS ARE
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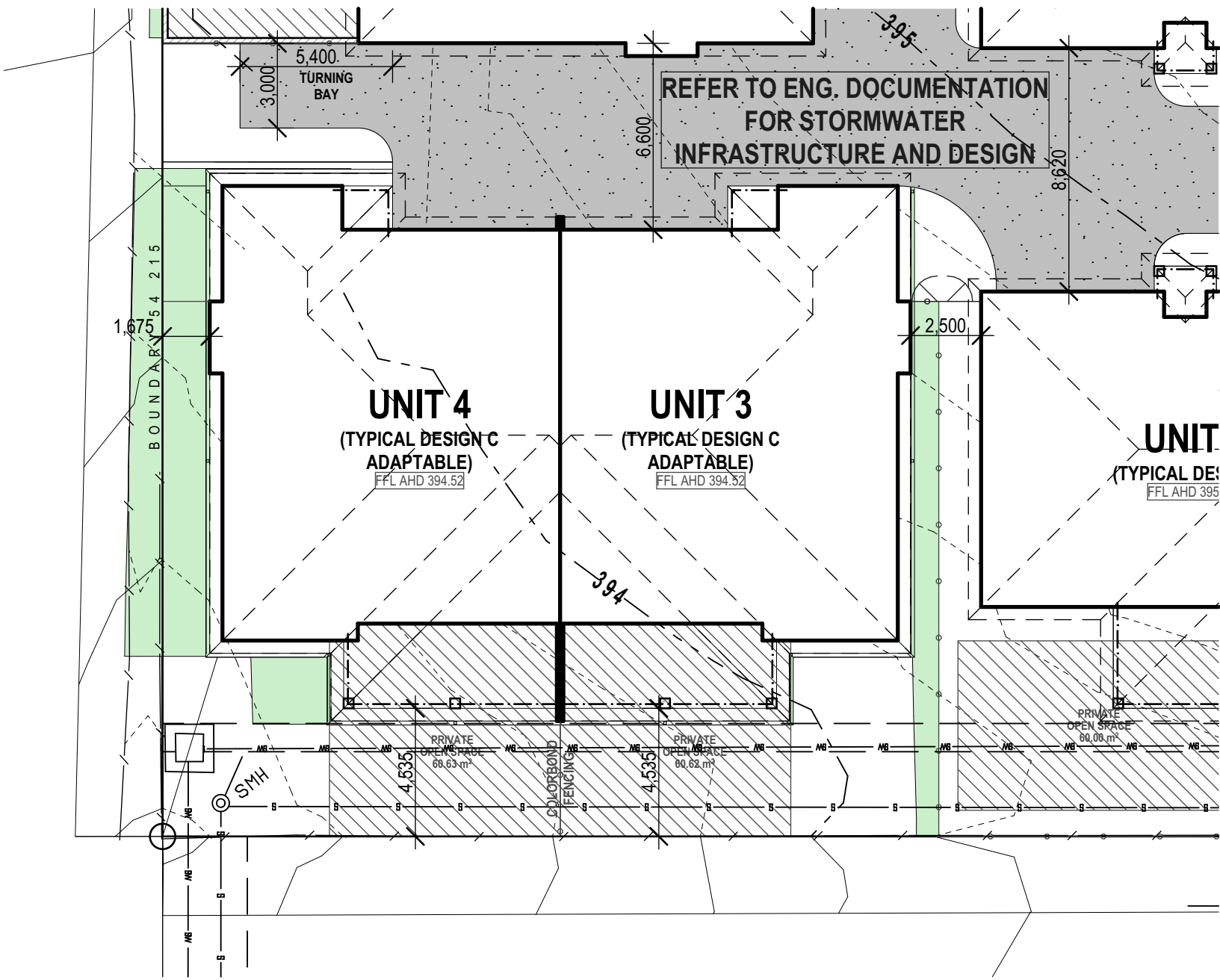
SHADOW ANALYSIS - WINTER SOLSTICE 9AM



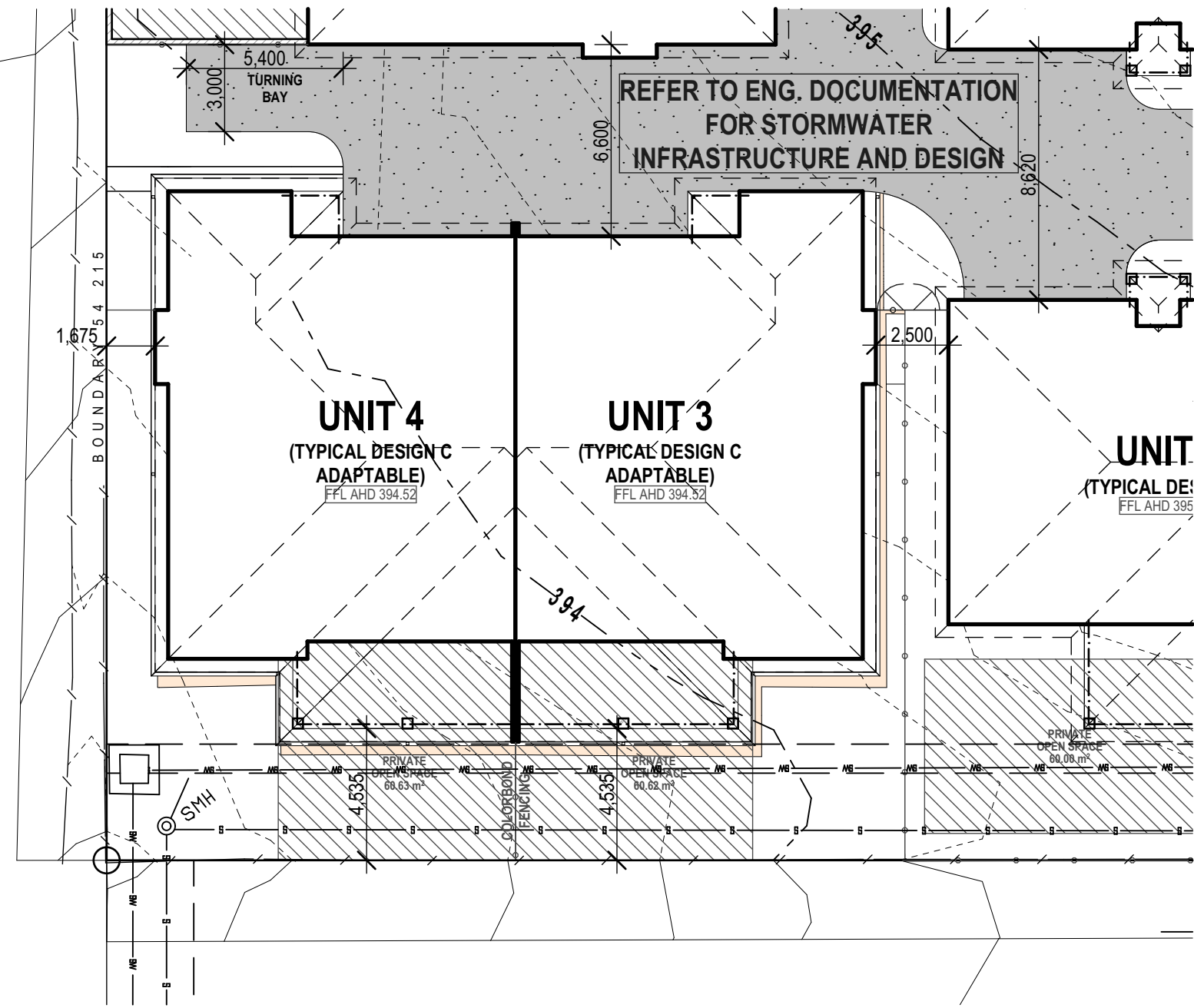
SHADOW ANALYSIS - WINTER SOLSTICE 12PM



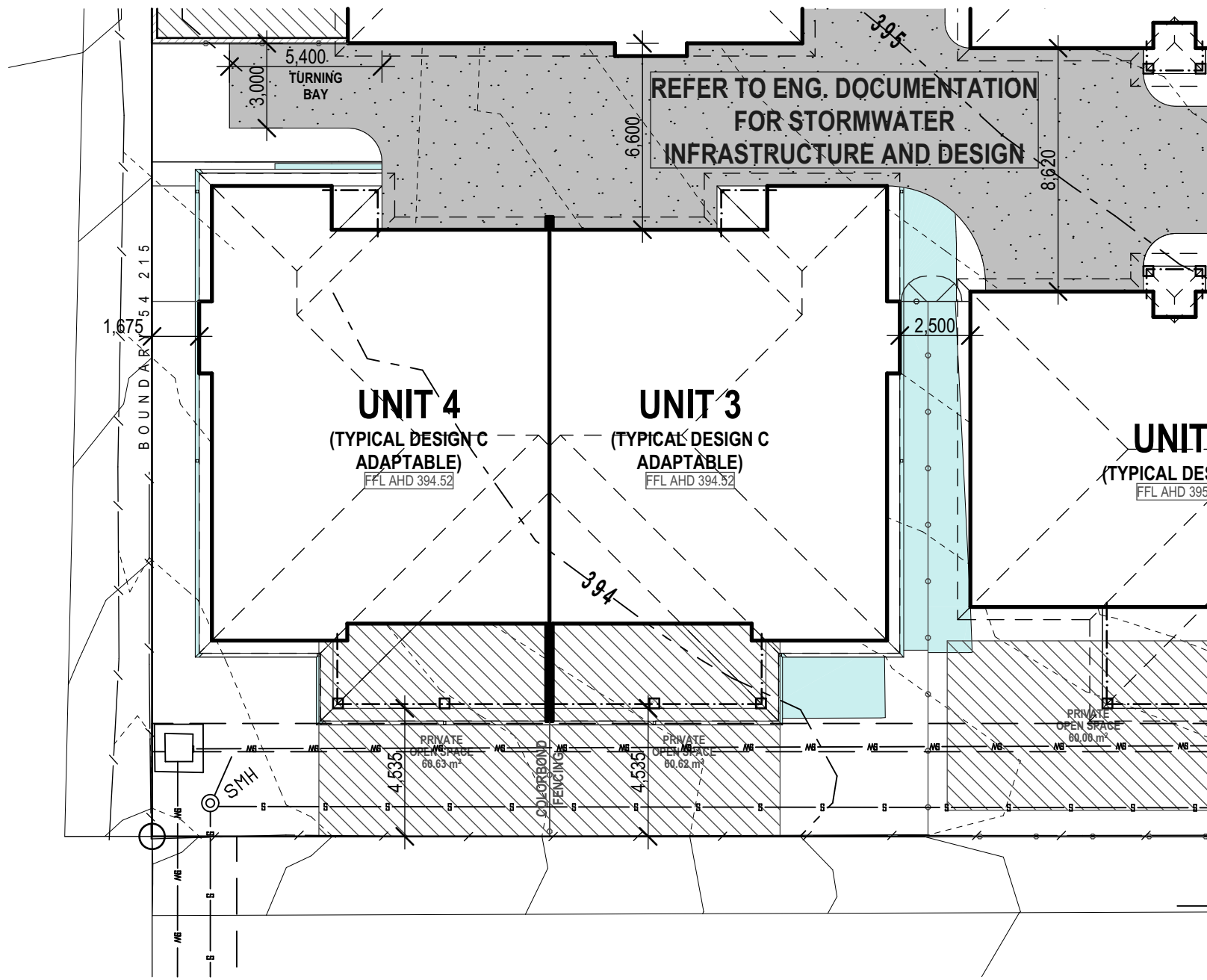
SHADOW ANALYSIS - WINTER SOLSTICE 3PM



SHADOW ANALYSIS - SUMMER SOLSTICE 9AM



SHADOW ANALYSIS - SUMMER SOLSTICE 12PM



SHADOW ANALYSIS - SUMMER SOLSTICE 3PM



| REV | DATE | AMENDMENT | DT | CB |
|-----|----------|----------------------------|----|----|
| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTED ARE TO BE COMPLETED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A RELEVANT REFERENCED AUSTRALIAN STANDARD.

ALL WORKS NOTED ARE TO BE COMPLETED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A RELEVANT REFERENCED AUSTRALIAN STANDARD.

ALL PRODUCTS & FINISHES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND SPECIFICATIONS PROVIDED BY PREVIOUS CONSULTANTS SUCH AS ARCHITECT, ENGINEER, LANDSCAPE ARCHITECT, ETC.

BOUNDARY CONDITIONS AND PROVISIONS FORM ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROVIDE DOWNPIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA A RELEVANT REFERENCED AUSTRALIAN STANDARD.

PROVIDE LIFT OFF RANGERS TO ALL DOORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERGROUND PIPES TO ALL NET AREA IN ACCORDANCE WITH CLAUSE 14.1 OF THE BCA 2019.

PROVIDE TYPICAL PROTECTION IN ACCORDANCE WITH AS/NZS 4586.

REGULATIONS MUST COMPLY WITH ALL APPLICABLE LAWS AND THE BUILDING CODE OF AUSTRALIA.

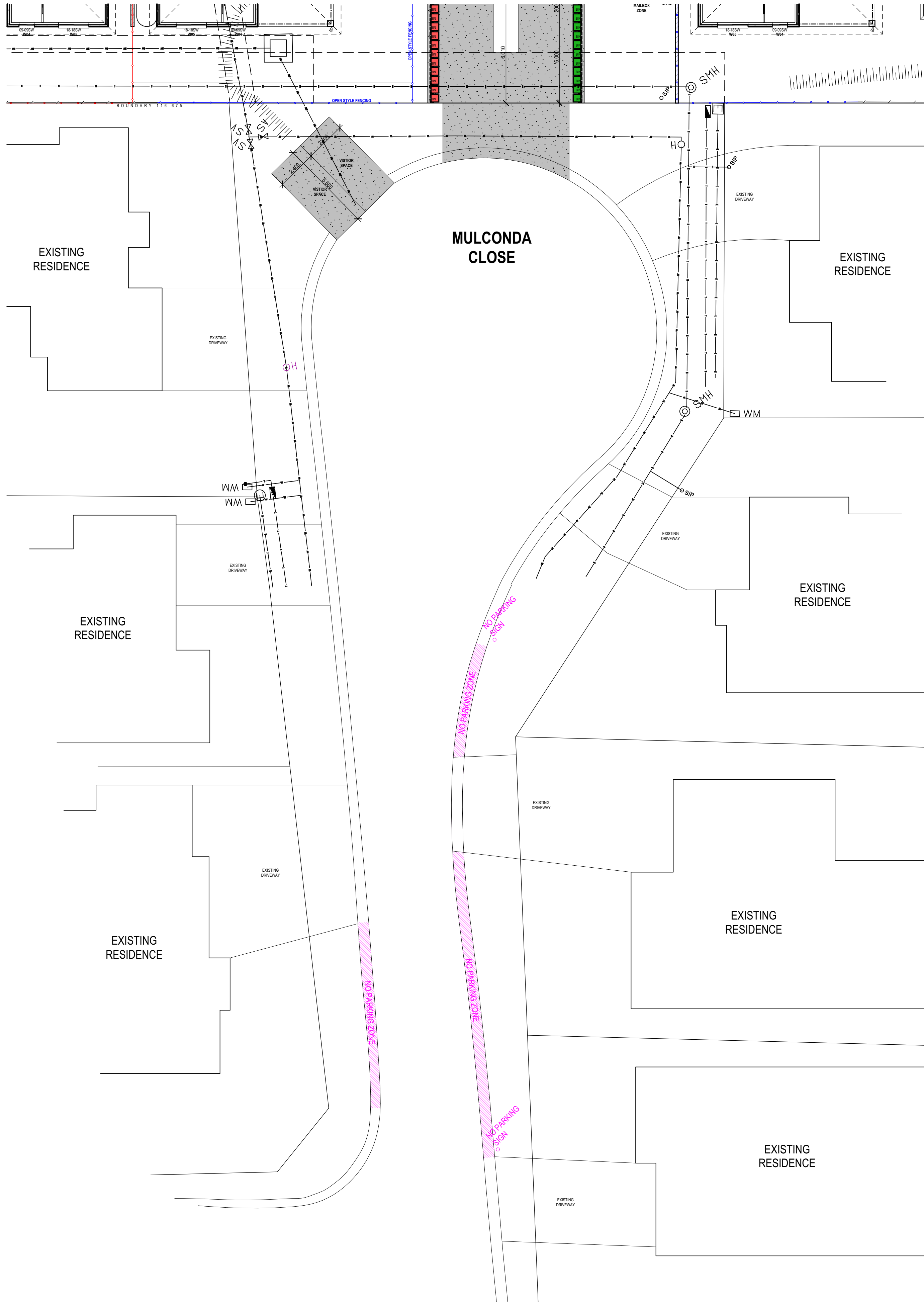
CONSTRUCTION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 14.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH CLAUSE 14.1 OF THE BCA 2019.

TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

| | |
|--|---------------------------|
| Project Name SUNFLOWER GARDENS | |
| 15 MANILLA ROAD OXLEYVALE NSW 2340 | |
| Drawing Title: RFI SHADOW UNIT 3/4 | |
| Status: DEVELOPMENT | Scale: @ A1 |
| Project No: 23142 | Sheet No.: WD18 |
| Plot Date: 9/12/2024 | |



NOTE: COLOURS ARE
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| REV | DATE | AMENDMENT | DT | CB |
|-----|----------|----------------------------|----|----|
| 8 | 09/12/24 | RFI RESPONSE DOCUMENTATION | SB | CD |
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DEVELOPMENT NOTES

ALL WORKS NOTING ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAIL WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESMAN.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND SPECIFICATIONS PREPARED BY PREVIOUS CONSULTANTS SUCH AS ARCHITECT, LANDSCAPE ARCHITECT, CIVIL ENGINEER, ETC.

BOUNDARY LOCATIONS AND PROPOSED FORMS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

LEVELS ON PLANS ARE INDICATIVE ONLY & ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR PRIOR TO CONSTRUCTION.

ALL UNDERGROUND SERVICES AND LOCATIONS ARE TO BE CONFIRMED PRIOR TO ANY WORK BEING UNDERTAKEN.

ALL SERVICE CONNECTION APPROVALS AND REQUIREMENTS ARE TO BE OBTAINED AND CONFIRMED PRIOR TO ANY WORKS BEING UNDERTAKEN.

WORKS ARE NOT TO BE UNDERTAKEN UNLESS PLANS ARE MARKED 'CONSTRUCTION'.

DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY.

ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

PROPOSED DOWNPIPES IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT NATIONAL STANDARDS.

PROVIDE LIFT OFF RANGERS TO AC COORS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

PROVIDE UNDERGROUND PIPES TO ALL NET AREAS IN ACCORDANCE WITH CLAUSE 3.1 OF THE BCA 2019.

PROVIDE THERMAL PROTECTION IN ACCORDANCE WITH AS/NZS 4938.

REGULATION MUST COMPLY WITH AS/NZS 4938 AND THE BASIX CERTIFICATE.

CONSERVATION MANAGEMENT TO BE INSTALLED IN ACCORDANCE WITH PART 3.6.1 OF THE BUILDING CODE OF AUSTRALIA.

OFF-STREET CAR PARKING & VEHICLE ACCESS IN ACCORDANCE WITH AS/NZS 4938.

TRC NOTES

ADDITIONAL UNDERLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION.

Project Name

SUNFLOWER GARDENS

15 MANILLA ROAD OXLEYVALE NSW 2340

Drawing Title:

NO PARKING SIGN LOCATIONS

Status: DEVELOPMENT

Scale: @ A1

Project No: 23142

Sheet No.: WD19

Plot Date:

9/12/2024